



euroclass
design | develop | deliver

Building quality
since

1987

21 Kūkū Road - Drury, Auckland

(Lot 117, Drury South Crossing)

Information Memorandum

Presented by:
Euroclass, February 2026



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About Euroclass

Euroclass is a family-run business that has been operating in New Zealand for over 40 years. We have completed over 300 projects around the country, with our main focus being commercial and industrial construction.

We offer a comprehensive service, from developing the concept to delivering the completed project. We manage the entire project with our civil and building arms, ensuring that the project is delivered on time, within budget, and to the highest standard. We focus on building long-term relationships with our clients and have completed projects for a wide range of tenants, investors, and owner-occupiers.

Our focus is on developing a deep understanding of our client's requirements to ensure that we deliver projects that meet their needs. We believe in a collaborative approach and work closely with our clients, consultants, and contractors to achieve the best possible outcome. Our aim is to deliver exceptional service, whether it's a design and build project or a turnkey development, that exceeds our client's expectations.

With Innovated buildings come Innovated partners, some of our clients are listed below:³



PRIME LOCATION



21 Kūkū Road, Drury, Auckland
(Lot 117, Drury South Crossing)



SH1
North & Southbound
2.5km Approx. 4mins



CBD
40km Approx.
35mins



AIRPORT
28km Approx.
30mins



HAMILTON
80km Approx.
55mins

Aerial Location Map

STATE HIGHWAY ONE

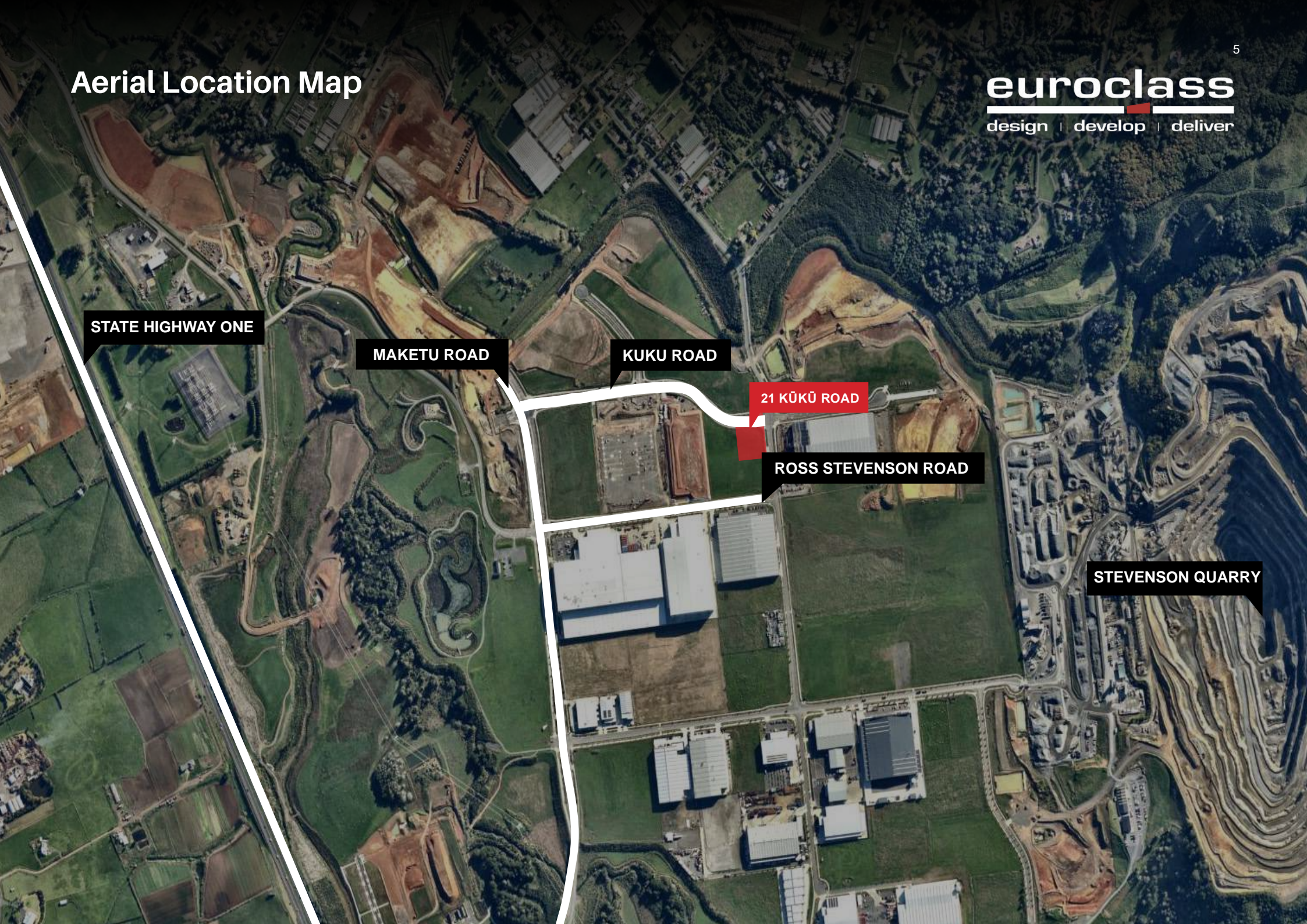
MAKETU ROAD

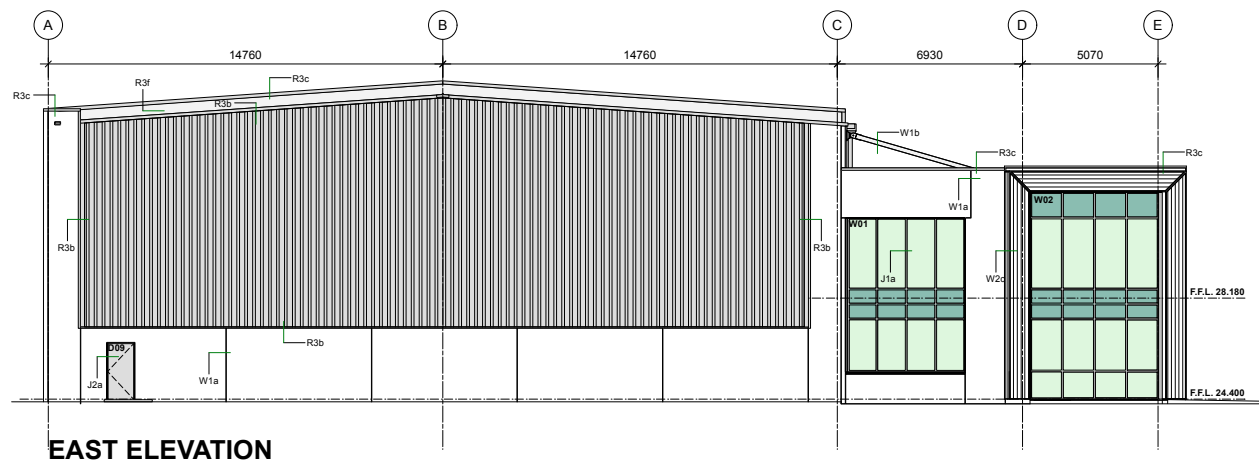
KUKU ROAD

21 KŪKŪ ROAD

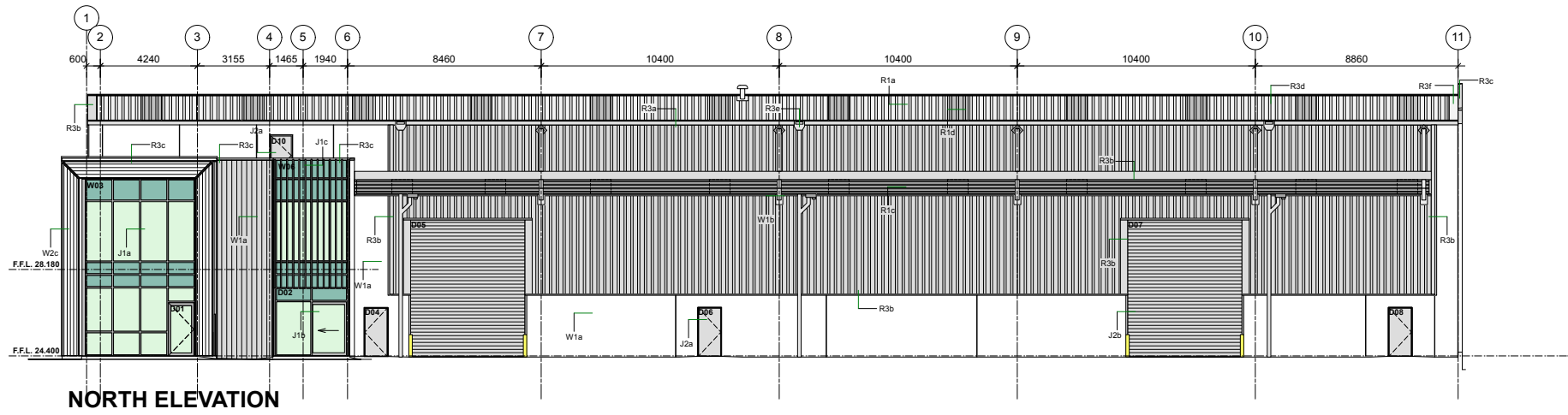
ROSS STEVENSON ROAD

STEVENSON QUARRY





EAST ELEVATION



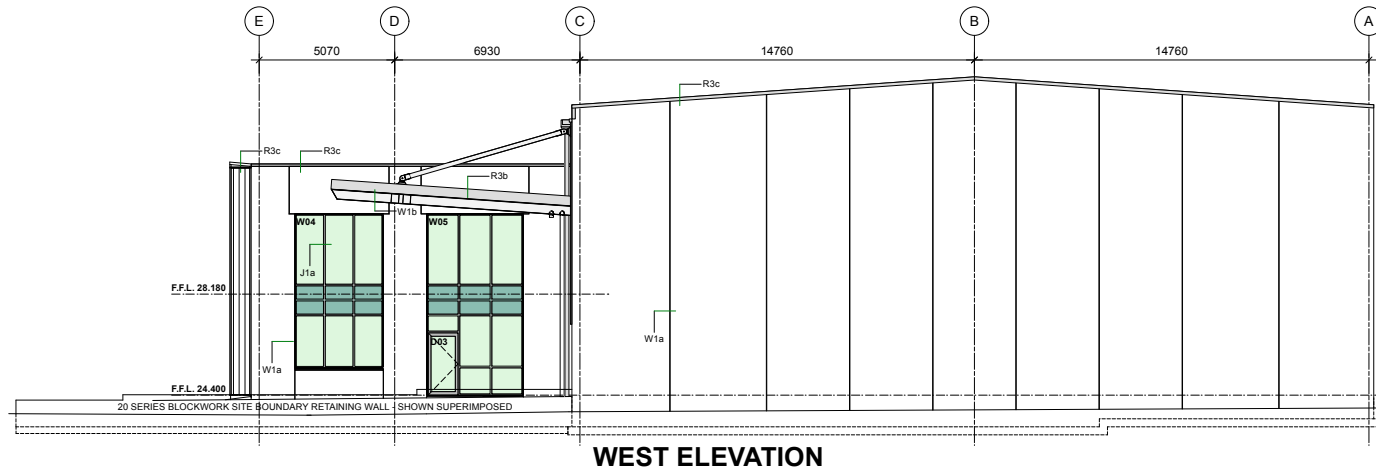
NORTH ELEVATION

FINISHES LEGEND	
Keynote Text	
J1a	R0 35 Selected powdercoated commercial 132mm aluminium flush glaze joinery to offices. All glazing to be Low E3 double glazed Argon gas 'Green' body lint glass and compliant with NZS 4223, Parts 3 and 4.
J1b	R0 35 Selected powdercoated commercial 132mm aluminium flush glaze joinery to Main Entry door with sliding auto opening double door. All glazing to be Low E3 double glazed Argon gas 'Green' body lint and compliant with NZS4223, Parts 3 and 4.
J1c	Insol Solaria 150 x 60 RHS powdercoated aluminium vertical decorative louvres with Insol proprietary Clasp Bracket & Channel fixed to powdercoated steel RHS beams fixed between precast panels.
J2a	Selected external prefinished hardwood Commercial Sanson FL or similar aluminium panel bonded door in Box Frame 75mm with flange aluminium frame
R1a	0.55mm BMT Steel and Tube S1953 natural zincalume roofing laid over Thermakraft Thermabar 391 white cap foil and vapour control laminate underlay over Kiwimesh, fixed to manufacturers specifications.
R1c	0.55mm BMT Kiwi Roofing Smartdek 710 natural zincalume roofing with DRIPS TOP anticondensation membrane to underside to exposed breazeway, fixed to manufacturers specifications. No underlay under sheets.
R1d	Ampelette SL3 Group 3 FR 2400gsm translucent sheeting to warehouse over Kiwimesh and Ampelette Webogas GC 3660gsm to canopy to match selected roofing profile, installed to manufacturers specifications at equal spacings as indicated on roof plan.
R2a	0.55mm BMT zincalume eaves flashing into 0.55mm BMT 200 x 195 x 120mm Diamond Box 200 Colorsteel fascia gutter fixed on matching coloured hot dipped galvanised brackets.
R3b	0.55mm BMT folded Colorsteel flashings
R3c	0.55mm BMT folded Colorsteel parapet cap flashing with 8° slope to inside. 0.7mm BMT custom folded powder coated aluminium parapet cap flashings to Nu-Wall office feature cladding.
R3d	0.55mm BMT folded zincalume ridge flashing with 0.55mm BMT folded colorsteel visible ends to ridge flashings.
R3e	0.7mm BMT folded Colorsteel rain water head with overflow and 1500 PVC downpipes securely fixed with purpose made brackets at 2000cra max.
R3f	0.55mm BMT folded zincalume flashings.
W1a	40MPa 150mm x 165mm thick reinforced precast concrete panels typically to warehouse with 180mm thick panels to Grid Line 11 walls with exterior paint finish typical and unpainted 'natural' concrete finish to Grid Line A & 11 walls. 40MPa exterior paint finished 200mm thick full height panels with 'Woodgrain' finish where specified to office (150mm thick 'Woodgrain' finish precast panels to Entrance/ FAP panel).
W1b	All canopy structure and braces to be unfinished 'natural' hot-dipped galvanised. All canopy purlins & girts to be Z450 galvanised.
W2c	Powdercoated aluminium Nu-Wall E200 Vertical cladding over impervious barrier tape to H5.145 x 20 casted horizontal battens at 600cra over Thermakraft Watergate Plus building underlay.

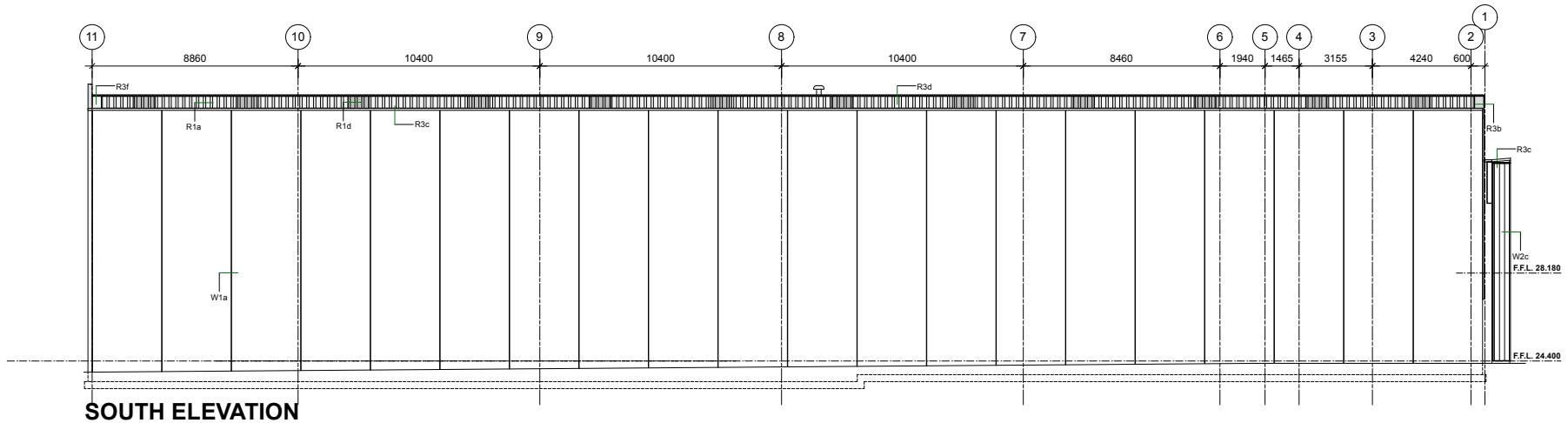
RISK MATRIX CALCULATION		
TABLE 2 of NZS3101: E2AS11		
Task name	High	Score
Number of drawings	High	2
Complexity of drawings	Very High	5
Number of drawings	Very High	5
Complexity of drawings	Very High	5
Check Method	Low	1
	Total Risk Score	18

RISK MATRIX COVERS WORST CASE ALL ELEVATIONS
 Selected 'Wet Cladding' Precast panel self construction & vertical long run aluminium cladding on cavity system

	REV DATE ISSUE STATUS PRELIMINARY	PROJECT NAME PROPOSED NEW DEVELOPMENT 21 KUKU ROAD DRURY AUCKLAND		DRAWING NAME EAST & NORTH ELEVATIONS	JOB REF. 25 012
	© COPYRIGHT WARNING These drawings, IP and designs remain the sole property of Euroclass RSH. Do not scale off these drawings. If in doubt contact Euroclass RSH.			SCALE - 1:100 @ A1	DRAWN - SMP



WEST ELEVATION



SOUTH ELEVATION

RISK MATRIX CALCULATION		
Table 6 of NZBC E2(A)11	High	Score
Work Zone	High	4
Number of Storeys	High	2
Roof/Wall Intersection Design	Very High	6
Struct. Work	Very High	6
Envelope Complexity	Very High	6
Deck Design	Low	0
	Total Risk Score	24

RISK MATRIX COVERS WORST CASE ALL ELEVATIONS
 (Selected final cladding) Precast panel solid construction & vertical long run aluminium cladding on cavity system

FINISHES LEGEND	
Keynote Text	
J1a	R0.35 Selected powdercoated commercial 132mm aluminium flush glaze joinery to offices. All glazing to be Low-E3 double glazed Argon gas 'Green' body tint and compliant with NZS 4223, Parts 3 and 4.
J1b	R0.35 Selected powdercoated commercial 132mm aluminium flush glaze joinery to Main Entry door with sliding auto opening double door. All glazing to be Low-E3 double glazed Argon gas 'Green' body tint and compliant with NZS4223, Parts 3 and 4.
J1c	Insol Solaris 150 x 50 RHS powdercoated aluminium vertical decorative louvres with Insol proprietary Clasp Bracket & Channel fixed to powdercoated steel RHS beams fixed between precast panels.
J2a	Selected external prefinished Parkwood Commercial Garrison FL or similar aluminium panel bonded door in Box Frame 75mm with flange aluminium frame.
R1a	0.55mm BMT Steel and Tube 316/3 natural zincalume roofing laid over Thermakraft Thermabar 391 white cap foil and vapour control laminate underlay over Kiwimesh, fixed to manufacturers specifications.
R1c	0.55mm BMT Kiwi Roofing Smartdek 710 natural zincalume roofing with DRIPSTOP anticondensation membrane to underside to exposed breezeway, fixed to manufacturers specifications. No underlay under sheets.
R1d	Ampelite SL3 Group 3 FR 2400gsm translucent sheeting to warehouse over Kiwimesh and Ampelite Webglas GC 3660gsm to canopy to match selected roofing profile, installed to manufacturers specifications at equal spacings as indicated on roof plan.
R2a	0.55mm BMT Zincalume eaves flashing into 0.55mm BMT 300 x 195 x 120mm Diamond Box 300 Colorsteel fascia gutter fixed on matching coloured hot dipped galvanised brackets.
R3b	0.55mm BMT folded Colorsteel flashings
R3c	0.55mm BMT folded Colorsteel parapet cap flashing with 3° slope to inside, 0.7mm BMT custom folded powder coated aluminium parapet cap flashings to Nu-Wall office feature cladding.
R3d	0.55mm BMT folded Zincalume ridge flashing with 0.55mm BMT folded Colorsteel visible ends to ridge flashings
R3e	0.75mm BMT folded Colorsteel rain water head with overflow and 1500PVC downpipes securely fixed with purpose made brackets at 2000cns max.
R3f	0.55mm BMT folded Zincalume flashings
W1a	40MPa 150mm & 165mm thick reinforced precast concrete panels typically to warehouse with 180mm thick panels to Grid Line 11 walls with exterior paint finish typical and unpainted 'natural' concrete finish to Grid Line A & 11 walls.
W1b	40MPa exterior paint finished 200mm thick full height panels with 'Woodrain' finish where specified to office (150mm thick 'Woodrain' finish precast panels to Entrance/ FAP panel).
W1c	All canopy structure and braces to be unfinished 'natural' hot-dipped galvanised. All canopy purlins & girts to be Z450 galvanised.
W2c	Powdercoated aluminium Nu-Wall E200 Vertical cladding over impervious barrier tape to H3.1.45 x 20 castelated horizontal battens at 600cns over Thermakraft Watergate Plus building underlay.

REV	DATE	ISSUE
		STATUS PRELIMINARY
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PROJECT NAME	PROPOSED NEW DEVELOPMENT
	21 KUKU ROAD
	DRURY
	AUCKLAND



DRAWING NAME	WEST & SOUTH ELEVATIONS
SCALE	1:100 @ A1
DRAWN - SMP	DATE - 13/01/2026

JOB REF.	25 012
DRAWING NO.	A10
REV.	









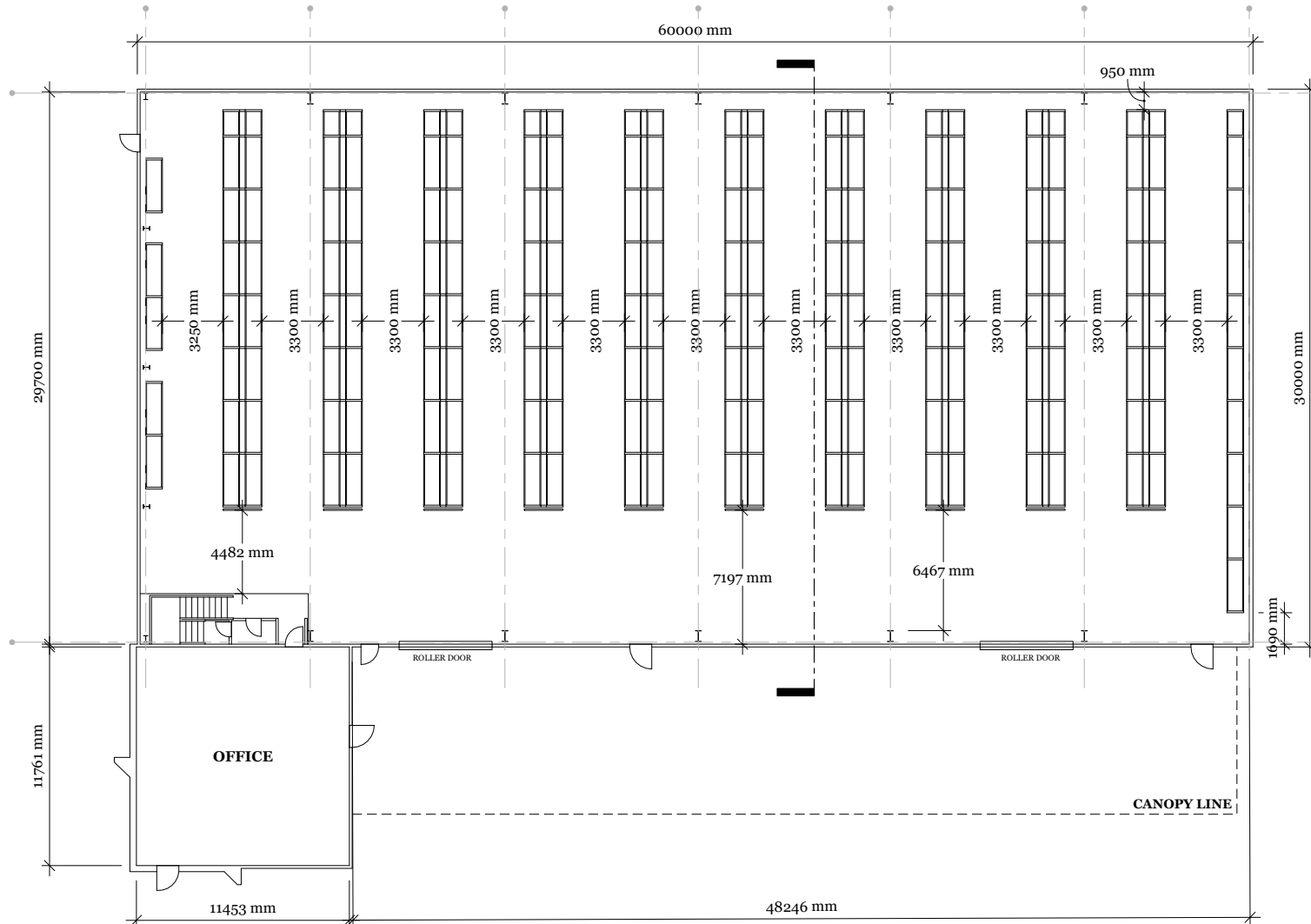
EUROCLASS

**PROPOSED WAREHOUSE STORAGE
SOLUTION**

**LOT 117 DRURY SOUTH
INDUSTRIAL PRECINCT**



PROPOSED LAYOUT 1



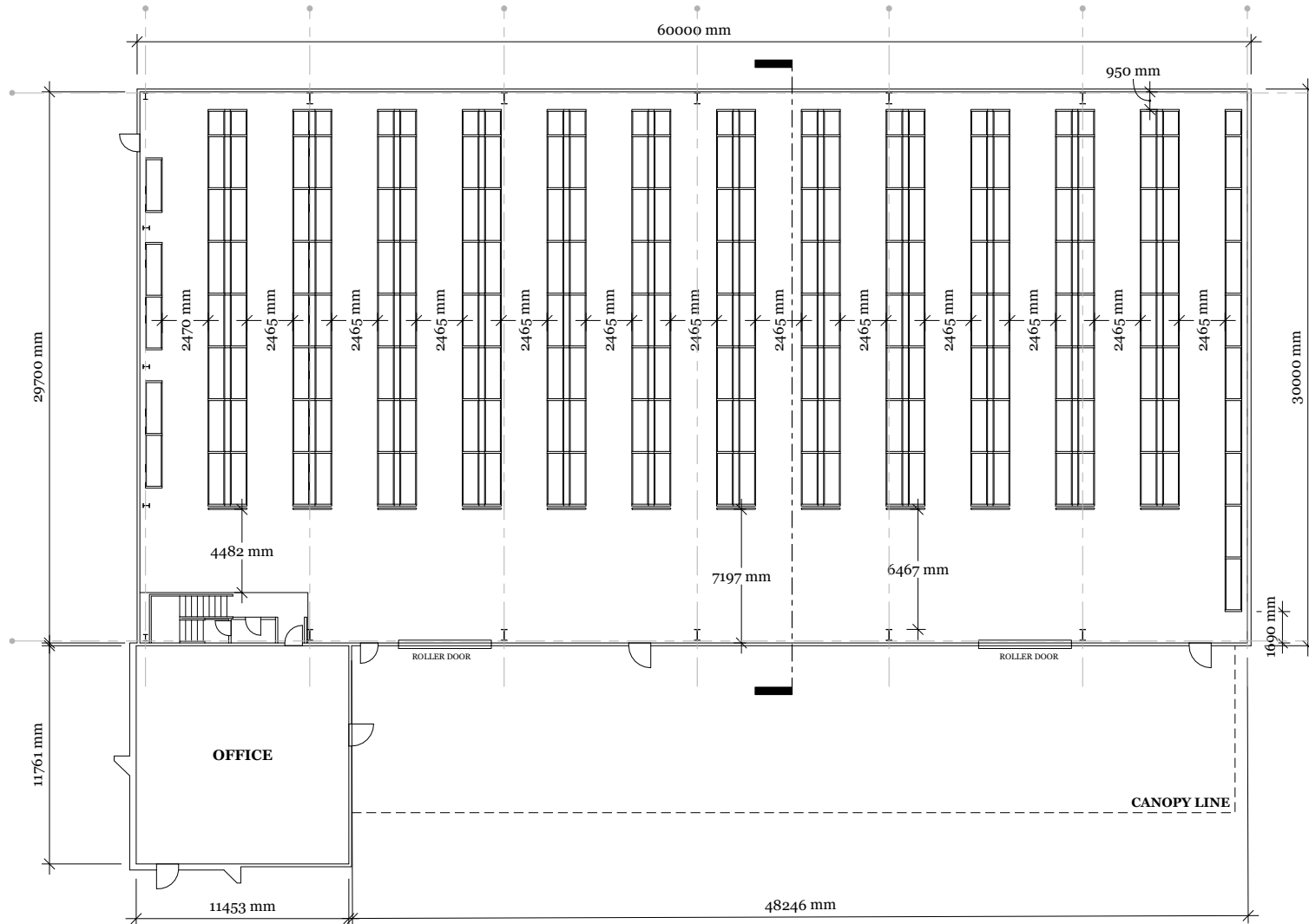
TOTAL PALLET SPACES: 1974
Spacing between racking is 300mm back-to-back

Capacity Calculations subject to hard measure and Fire & Egress Report

FLOOR PLAN - 3300 mm AISLE RACK-TO-RACK
SCALE 1:250 @ A3

REVISIONS	
MM/DD/YY	REMARKS
18/11/2025	FIRST DRAFT COMPLETED BY ELLERY BONDOC
2	...
3	...
4	...
5	...

PROPOSED LAYOUT 2



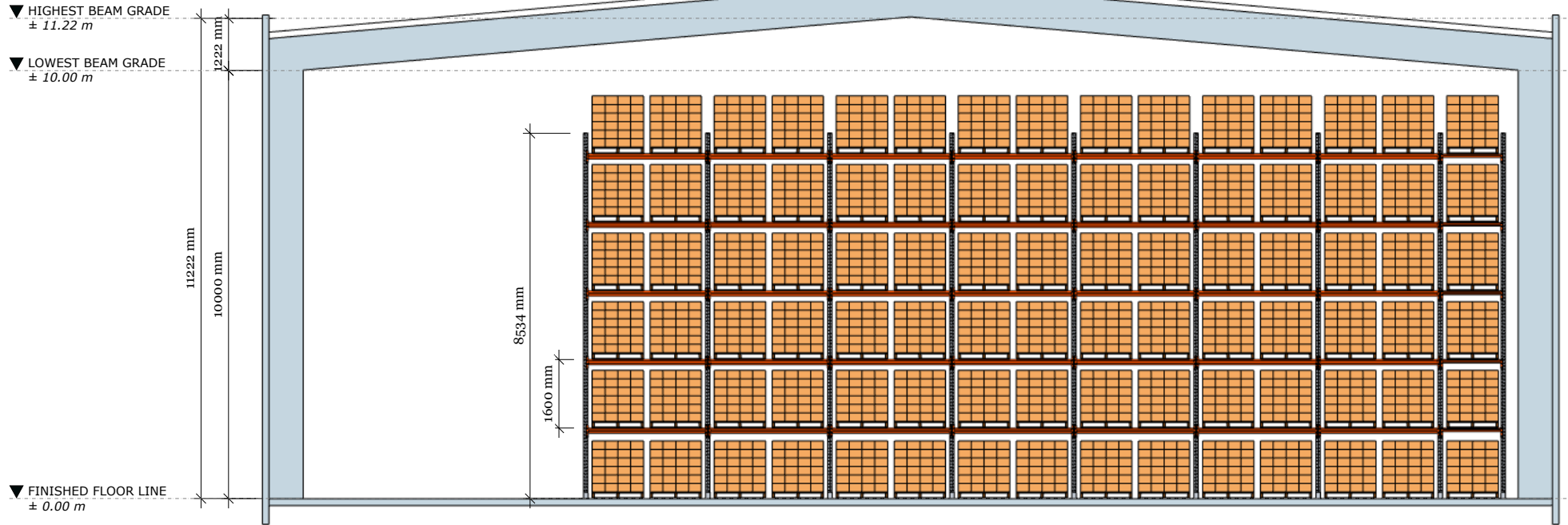
TOTAL PALLET SPACES: 2334
 Spacing between racking is 300mm back-to-back

Capacity Calculations subject to hard measure and Fire & Egress Report

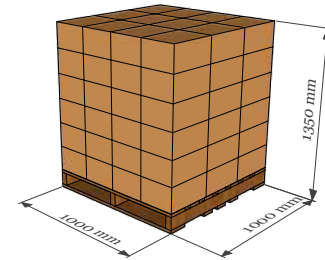
FLOOR PLAN - 2465 mm AISLE RACK-TO-RACK
 SCALE 1:250 @ A3

REVISIONS	
MM/DD/YY	REMARKS
1 18/11/2025	FIRST DRAFT COMPLETED BY ELLERY BONDOC
2	...
3	...
4	...
5	...

SHELVING DEPOT



BEAM SPACING: 1600 mm
 CLEARANCE BETWEEN LEVELS: 1480 mm
 PALLETS DRAWN AT 1350 mm HIGH



SECTION VIEW
 SCALE 1:100 @ A3

SHELVING DEPOT
 EUROCLASS

REVISIONS	
MM/DD/YY	REMARKS
1 18/11/2025	FIRST DRAFT COMPLETED BY ELLERY BONDOC
2	...
3	...
4	...
5	...

A 03

Executive Summary

21 Kūkū Road
Drury 2579

As per drawings Ref 25 012 A00-A26

Site	3,362m ²
Warehouse	1,800m ²
Office	287m ²
Canopy	423m ²
Carparks	10

Design Rationale

The complex is designed with a drive through yard to provide discipline traffic flows for maximum efficiency. The warehouse is 10m to the top of the portal to 11.3m in the center, with a post tensioned jointless floor. The two-story office has a concrete mid floor and the internal walls to the warehouse are full height precast to provide 60min fire rating and a quality sound barrier. The office overlooks the cantilevered canopy for clear visibility of the operational area.

Rental Rates

Warehouse	1,800m ² @ \$200.00	\$ 360,000.00
Office	287m ² @ \$345.00	\$ 99,015.00
Canopy	423m ² @ \$93.00	\$ 39,339.00
Carparks	10 @ \$20ea/week	\$ 10,400.00
Total rental per annum		\$ 508,754.00
		+ GST

Commercial Terms

10-year lease to ADLS 2012 first edition
Annual increase 3.5%
Midterm review to market hard ratchet
Bank bond for 12-month rental
5+5 Rights of renewal

Available to purchase at 5%

Kind Regards,



Peter Bishop
Director



Charlie Bishop
Director

Feature Projects



Featurecraft, Hawkes Bay



Esko Safety, New Plymouth



Puretec, Hamilton



Cloke and BrandSpec, Auckland



Jones Trading Group, Auckland



Trade Depot, Hamilton

Euroclass Business Parks



Stonehill Business Park 2010 / 2025



Basalt Business Park 2016 / 2025



Building quality
since

1987



euroclass
design | develop | deliver

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