



# 5&7 Inanga Street, Hobsonville, Auckland



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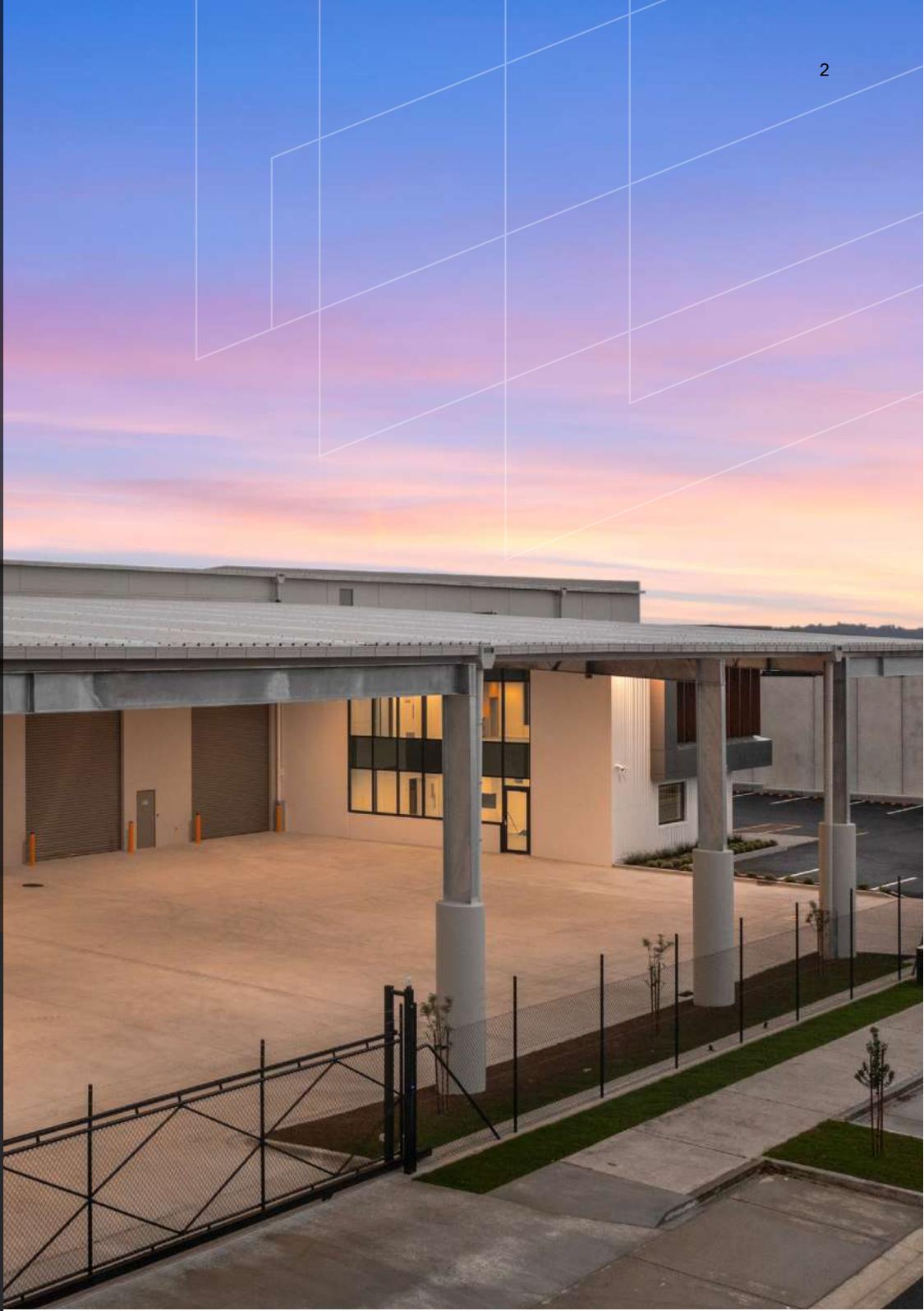
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Euroclass welcomes your interest. For further information, please contact your preferred agent, or the following:



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 charlie@euroclass.co.nz



With Innovated buildings come Innovated partners, some of our clients are listed below:



design



develop



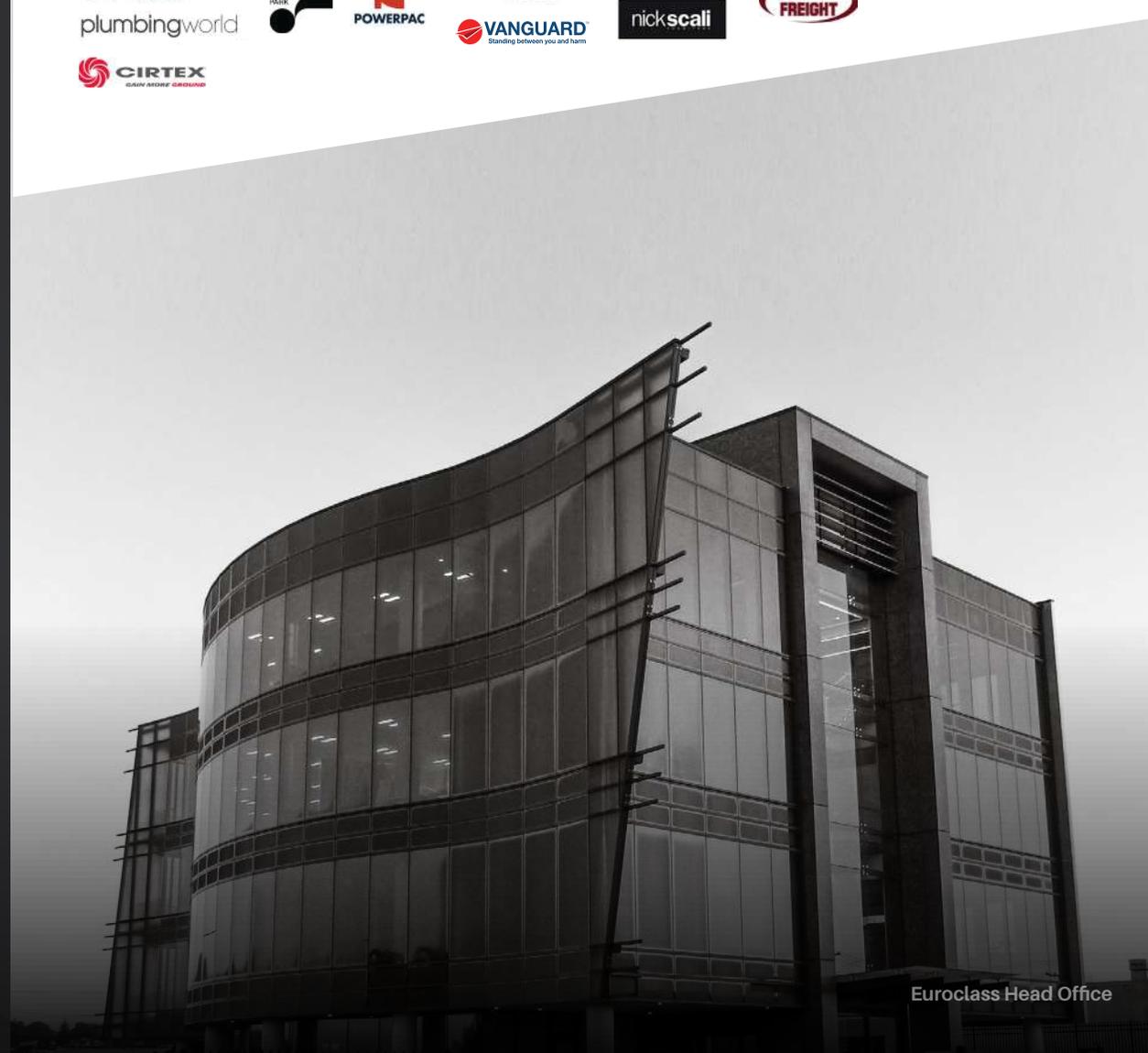
deliver

# About Euroclass

Euroclass is a family-run business that has been operating in New Zealand for over 40 years. We have completed over 300 projects around the country, with our main focus being commercial and industrial construction.

We offer a comprehensive service, from developing the concept to delivering the completed project. We manage the entire project with our civil and building arms, ensuring that the project is delivered on time, within budget, and to the highest standard. We focus on building long-term relationships with our clients and have completed projects for a wide range of tenants, investors, and owner-occupiers.

Our focus is on developing a deep understanding of our client's requirements to ensure that we deliver projects that meet their needs. We believe in a collaborative approach and work closely with our clients, consultants, and contractors to achieve the best possible outcome. Our aim is to deliver exceptional service, whether it's a design and build project or a turnkey development, that exceeds our client's expectations.



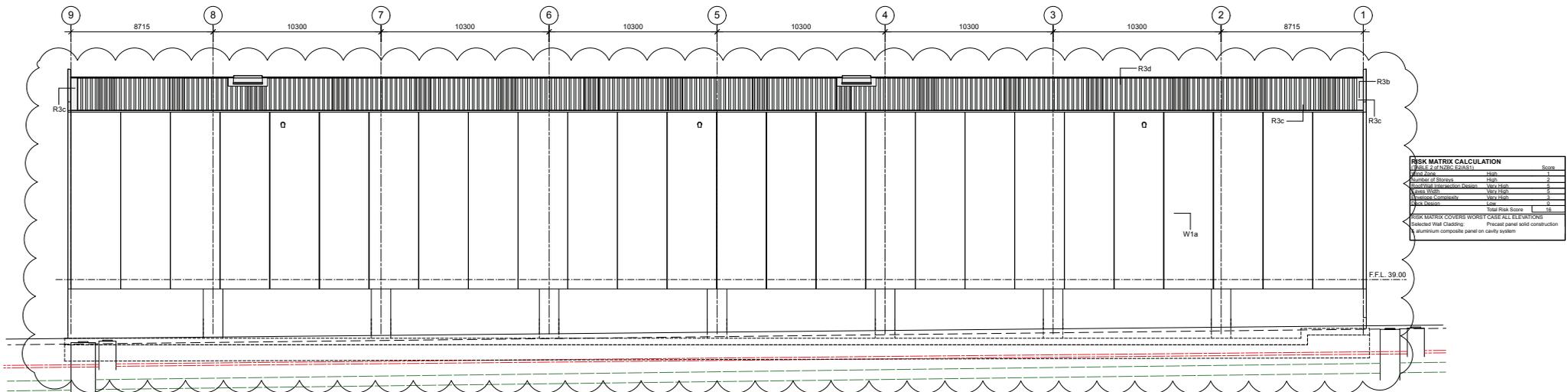
# Location

5&7 Inanga Street, Hobsonville, Auckland





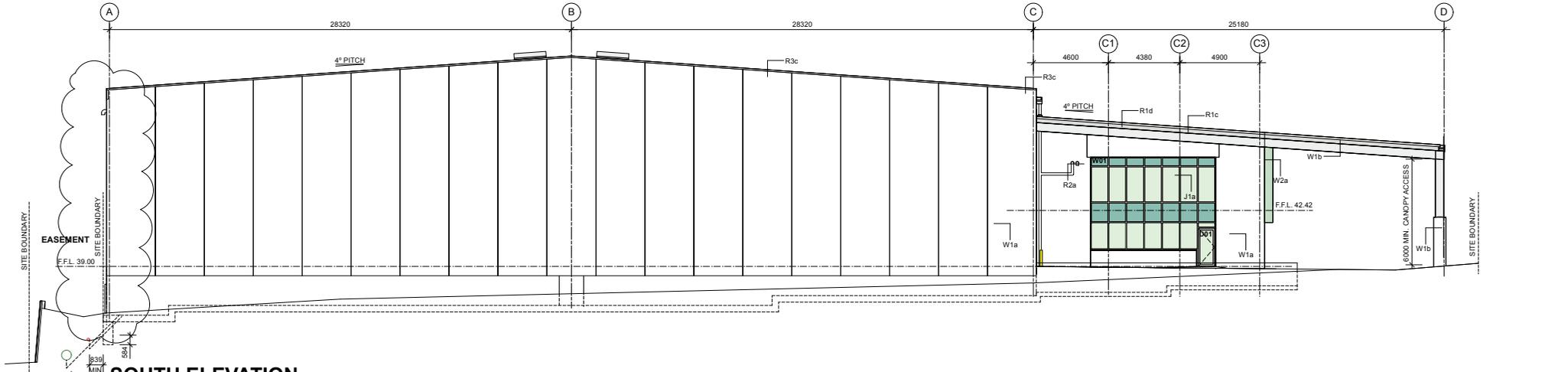




RISK MATRIX CALCULATION		
Table 2 of NZS4223 (2023)	1000	1000
Number of Storeys	1000	2
Number of Occupants	1000	5
Number of Entrances	1000	5
Number of Exits	1000	5
Number of Entrances	1000	5
Number of Exits	1000	5
Total Risk Score	1000	10

RISK MATRIX COVERS WORST CASE ALL ELEVATIONS  
 Selected Wall Cladding: Precast panel with construction in aluminium composite panel on cavity system

WEST ELEVATION



SOUTH ELEVATION

FINISHES LEGEND	
Keynote Text	
F1a	40MPa 165mm post tensioned concrete floor slab to engineers design and details on DPM membrane on sand blined 150mm min hardfill. Finished with Oxtak X100 Green Cure surface hardener/dust sealer on completion.
J1a	Selected powdercoated commercial 106mm x 136mm aluminium flush glaze joinery and sliding auto opening door to Main Entry to offices. All glazing to be R0.33 double glazed Stoptol Silver Green glass and compliant with NZS 4223, Parts 3 and 4. Back painted glass to ceiling spaces. Selected 300 x 50 R4S powdercoated aluminium vertical shading fins to fixed to mullions where specified.
J1b	Selected residential series window joinery to office fire alarm panel recessed in precast panel with clear annealed single glazing and compliant with NZS4223, Parts 3 and 4.
J2a	Selected external prefinished Parkwood Commercial Garrison FL or similar aluminium panel bonded door in Box Frame 75mm with flange aluminium frame.
J2b	Apex electrically operated heavy duty roller shutter door with Envoogie frame system and bird-proofing brush seal at head.
J2c	Monkeyeye aluminium proprietary caged ladder with door access platform mounted to timber stair landing and precast concrete wall panel.
R1a	0.55mm BMT Steel and Tube S1963 Colorsteel Endura - Thunder Grey (LRV 12%) roofing laid over Thermakraft Thermabar 397 white cap foil and vapour control laminate underlay over Kiwimesh, fixed to manufacturers specifications.
R1c	0.55mm BMT Steel & Tube S1963 double sided Colorsteel Endura - Thunder Grey (LRV 12%) roofing to exposed canopy. Fixed to manufacturers specifications. No underlay under sheets. Colorsteel Endura.
R1d	Ampelite SL3 Group 3 FR 2400gsm translucent sheeting to warehouse over Kiwimesh and Ampelite Webglas OC 3850gsm to canopy to match selected roofing profile, installed to manufacturers specifications at equal spacings as indicated on roof plan.
R3a	0.55mm BMT Colorsteel Endura eaves flashing into 0.55mm BMT 300 x 165 x 120mm Diamond Box 300 Colorsteel fascia gutter fixed on matching coloured hot dipped galvanised brackets.
R3b	0.55mm BMT folded Colorsteel flashings.
R3c	0.55mm BMT folded Colorsteel parapet cap flashing with 5° slope to inside.
R3d	0.55mm BMT folded Colorsteel Endura - Thunder Grey (LRV 12%) ridge flashing.
R3e	0.75mm BMT folded Colorsteel rain water head with overflow and 1500 PVC downpipes securely fixed with purpose made brackets at 2000c/s max.
S1a	Timber stairs with raking risers & paint finished stringers. Tredsafes UPT121 aluminium nosings with Diamondred safety insert to carpeted stairs & Tredsafes AA121 aluminium nosings with Diamondred safety insert to carpeted secondary stairs. H1.2 190 x 45 SGB at 400c/s to min landing. Line visible underside with 16mm GIB Fyrelite on H1.2 70 x 35 SGB battens, stoppied and painted to Level 4 finish.
W1a	165mm thick typical reinforced precast concrete panels typically to warehouse with 165mm thick panels to Grid 1 & 2 warehouse with 250mm thick structural supporting return panel at Grid 1/C. 200mm thick panels to Office with 15mm deep random width vertical decorative rebates to north and east faces. Exterior paint finish to warehouse panels face road frontage (east). Unfinished 'natural' finish to all other panels.
W1b	All canopy structure & braces to be unfinished 'natural' hot-dipped galvanised. Reinforced in situ concrete formed encasements to canopy columns with unfinished 'natural' finish. All canopy purlins & girts to be Z450 galvanised.

REV	DATE	ISSUE
2	23/02/24	REVISED FOR CONSTRUCTION
1	7/02/24	ISSUED FOR CONSTRUCTION

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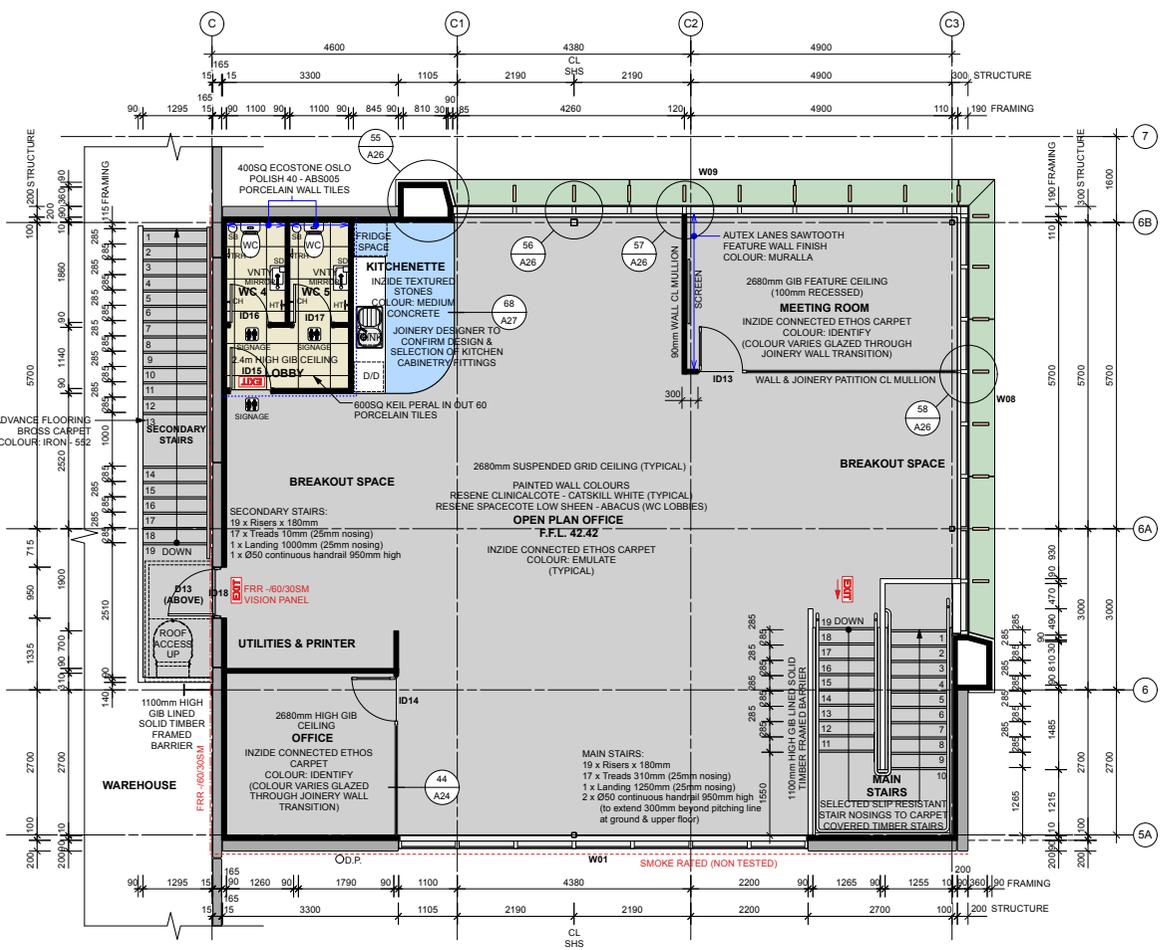
PROJECT  
**PROPOSED NEW DEVELOPMENT**  
**5 & 7 INANGA STREET**  
**HOBSONVILLE**



DRAWING NAME	<b>WEST &amp; SOUTH ELEVATIONS</b>
SCALE AT A1 - 1:125	DRAWN BY - SMP DATE - 23/02/2024

JOB REF. <b>23 004</b>
DRAWING No. <b>A12</b>
REV. <b>2</b>





**OFFICE LINING NOTES:**

- FLOORING CONTRACTOR TO MAKE GOOD ALL JOINERY REBATES AND SUBSTRATE PREPARATION.
- WALL LININGS TO BE 10mm STANDARD GIB EXCEPT FOR FIRE RATED WALLS AS SPECIFIED & ACCESSIBLE WC/ SHOWER TO BE 10mm AQUALINE GIB LININGS WITH FULL HEIGHT 600SQ FLOOR OVER WALL MEMBRANE SYSTEM TO FULL LENGTH OF ACCESSIBLE SHOWER WALLS. FULL HEIGHT 400SQ WALL TILES TO FULL LENGTH OF WALLS BEHIND WCs.
- PAINTED (ENAMEL - COLOUR TO MATCH WALLS) 60 x 10 DRESSED FJ BEVEL EDGED SKIRTINGS & ARCHITRAVES TYPICAL TO ALL WALL FRAMING & STRAPPING. 100mm HIGH TILED SKIRTING USING RESPECTIVE FLOORING TILE TO ALL TILE TO GIB LINED WALLS (EXCLUDING ENTRY & SERVER CPD - USE TIMBER SKIRTINGS).
- 2.4m HIGH 10mm STANDARD GIB CEILING TO AMENITIES AREAS & 10mm AQUALINE TO ACCESSIBLE WC/SHOWER. 16mm FYPYRELIN TO UNDERSIDE OF STAIRS TO PITCH & HEIGHTS AS SPECIFIED. SQUARE STOPPED GIB CEILING INTERSECTIONS.
- 2680mm HIGH 10mm STANDARD GIB CEILING TO ENTRY, BOARDROOM, PASSAGE, SERVER, LUNCHROOM, MEETING ROOM & OFFICE WITH 100mm FEATURE RECESSES WHERE SPECIFIED.
- ALL LIGHT SWITCHES SHALL ALIGN HORIZONTALLY WITH DOOR HANDLES.
- ALL POWER OUTLETS TO THE ACCESSIBILITY ROUTE INDICATED SHALL BE POSITIONED BETWEEN 500mm & 1200mm ABOVE THE FINISHED FLOOR LEVEL AND AT LEAST 500mm FROM ADJOINING WALLS OR FIXED BENCH OR UNIT.
- POTTERS C SERIES PARTITIONING SYSTEM WITH DS SERIES DOORS WHERE SPECIFIED (REFERENCED ON THIS SHEET TO INTERNAL JOINEERY SCHEDULE) WITH ADJOINING WALL SKIRTINGS CUT TO INTERSECTIONS. REFER TO PRODUCT LITERATURE FOR DESIGN & INSTALLATION OF SPECIFIED SYSTEM.
- DRAWINGS TO BE READ IN CONJUNCTION WITH SPACEWORKS INTERIOR DESIGN FINISHES AND FIXTURES DOCUMENTATION PACKAGE.

**ACOUSTIC WALL KEY:**

- ..... 90 x 45 MIN. FULL HEIGHT WALL FRAMING TYPICALLY WITH 10mm MIN. STANDARD GIB LININGS EACH SIDE INSULATED WITH 90mm ACOUSTIC INSULATION. IN ADDITION ACOUSTIC INSULATE ALL ADJOINING WC WALLS AND CEILINGS WITHIN THE PERIMETER OF FULL HEIGHT WALLS.

**SIGNAGE NOTES:**

- SIGNAGE AS REQUIRED AND WHERE INDICATED SHALL BE MOUNTED BETWEEN 1400mm & 1700mm ABOVE FLOOR LEVEL.
- ALL ACCESSIBILITY SIGNAGE SHALL HAVE CORRECT PROPORTIONAL LAYOUT, LETTERING AND COLOUR CONTRAST WITH BACKGROUND AS PER NZS4121:2001 SECTION 4.8.
- ALL SIGNS, INFORMATION BOARDS AND ALL ELEMENTS OF ACCESSIBLE ROUTES ARE WELL ILLUMINATED.
- FIRE EXIT SIGNS DESIGNED TO EMERGENCY LIGHTING DESIGN TO F8/AS1.

**WALL FRAMING:** - TO NZS 3604:2011 - TABLE 8.4

**INTERIOR WALLS:**

- 3.0m MAX. 90 x 45 H1.2 S68 STUDS AT 600CRS. NOGS AT 1350CRS MAX
- 3.3m MAX. 90 x 45 H1.2 S68 STUDS AT 400CRS. NOGS AT 1350CRS MAX
- 3.6m MAX. 90 x 45 H1.2 S68 STUDS AT 300CRS. NOGS AT 1350CRS MAX OR
- 3.6m MAX. 140 x 45 H1.2 S68 STUDS AT 600CRS. NOGS AT 1350CRS MAX
- 3.9m MAX. 90 x 45 H1.2 S68 STUDS AT 150CRS. NOGS AT 1350CRS OR
- 3.9m MAX. 90 x 45 H1.2 S610 STUDS AT 300CRS. NOGS AT 1350CRS

**AMENITIES FITTINGS KEY & NOTES:**

- HT - HAND TOWEL RAIL/ STRIPPUP
- TRM - TOILET ROLL HOLDER
- SB - SANITARY BIN - WALL MOUNTED SANIPOD SHOWN
- SD - SOAP DISPENSER
- CH - COAT HOOK/ DOOR STOP

- ALL HYGIENE FITTINGS INDICATED & HEIGHTS SPECIFIED ARE FOR A GENERIC CONTRACTED HYGIENE PROVIDER OR AS SPECIFIED IN SPACEWORKS INTERIOR DESIGN DOCUMENTATION PACKAGE.
- CONSULT WITH SUPPLIER FOR CONFIRMATION OF REQUIRED AND/OR APPROPRIATE MOUNTING POSITIONS & FOR NOGGING/ STUD SUPPORT WHERE REQUIRED.

**OFFICE FIRE RATING KEY & NOTES:**

- - - 240 FRR BOUNDARY PROTECTION FIRE RATED WALLS INDICATED INCLUDE:
  - 165mm MIN. THICK PRECAST PANEL WALLS - TYPICAL
  - 200mm MIN. THICK PRECAST PANEL WALLS - DIRECTLY SUPPORTING PRIMARY STRUCTURAL MEMBERS
- - - - 60 FRR WALLS INDICATED TO UNDERSIDE OF ROOF OR FIRE RATED CEILING INCLUDE:
  - GIBTL 60 - 13mm GIB FYPYRELIN EACH SIDE OF 90 x 45mm MIN. TIMBER FRAMING
  - 165mm MIN. PRECAST PANEL WALLS (LININGS N/A)
  - DOORS - 60/30SM FRR
- - - - - 30 FRR WALLS INDICATED TO UNDERSIDE OF FIRE RATED CEILING REQUIRED FOR STRUCTURAL SUPPORT INCLUDE:
  - GIBTL 30 23 - 13mm GIB FYPYRELIN EACH SIDE OF 90 x 45mm MIN. TIMBER FRAMING (TYPICAL)
  - 165mm MIN. PRECAST PANEL WALLS (LININGS N/A)
- - - - - SMOKE CONTROL (NON-TESTED) INDICATED TO UNDERSIDE OF CANOPY:
  - 200mm PRECAST PANEL
  - DOUBLE GLAZED COMMERCIAL SUITE ALUMINIUM JOINERY WITH CONTINUOUS SEALS
- - - - - FIRE RATED HORIZONTAL AREA AS INDICATED & AS NOTED ON REFLECTED CEILING & FLOOR PLANS INCLUDE:
  - GIBCUC 30 - 16mm GIB FYPYRELIN TO 70 x 35mm MIN. TIMBER FRAMING/ STRAPPING
  - HIBOND CONCRETE FLOOR/ CEILING SYSTEM

**FAP - FIRE ALARM PANEL**

**EXIT** - PRIMARY EXIT SIGNAGE. DESIGN BY OTHERS TO F8/AS1

- INTUMESCENT PAINT SYSTEM TO ALL STEEL WORK WHERE INDICATED/ SPECIFIED BY ENGINEER TO ACHIEVE REQUIRED FRR
- THICKNESS OF WALL LININGS TO BE CONTINUOUS THROUGH TO NEXT WALL INTERSECTION TO ACCOMMODATE THE MINIMUM FIRE RATING REQUIRED.
- REFER TO OVERALL FLOOR PLAN FOR FIRE PROTECTION INFORMATION.

- PLANS & SECTIONS WHERE INDICATED REQUIRE GIB SMOKE OR FIRE RATED SYSTEM LININGS

**SURFACE FINISHES SLIP & FIRE HAZARD SPECIFICATIONS:**

TYPICAL	CEILING	CEILING TILES	AMF THERMATX THERMOFON	MGN
CEILING	PLASTERBOARD	CEILING PAINT D305	ZYLONE SHEN D302	1-S
WALLS	PLASTERBOARD	ZYLONE SHEN D302	LUSTACRYL D310	1-S
TRIM	TIMBER	LUSTACRYL D310		N/A
DOORS	TIMBER	LUSTACRYL D310		N/A
AMENITY	CEILING	PLASTERBOARD	SPACECOTE LOW SHEEN D314K	1-S
WALLS	PLASTERBOARD	SPACECOTE LOW SHEEN D314K	LUSTACRYL D310	1-S
TRM	TIMBER	LUSTACRYL D310		N/A
DOORS	TIMBER	LUSTACRYL D310		1-S

**FEATURE SCREEN WALLS ACOUSTIC LINING AUTEX SAWTOOTH**

FLOORING CRITICAL RADIANT FLUX RATINGS (RAD. FLUX - kw/m <sup>2</sup> )	RAD. FLUX
OFFICE OFFICE CARPET TILES NZIDE CONNECTED ETHOS	3.3
LUNCHROOM VINYL NZIDE TEXTURED WOODGRANS	9.6
KITCHENETTE VINYL NZIDE TEXTURED STONES	9.6
SEC. STAIRS CARPET ADVANCE FLOORING BRSS	5.2

**FLOORING SLIP RESISTANCE (WET PENDULUM TEST):**

OFFICE TYPICAL FLOOR TILES	KIEL PEARL IN OUT 60 (TRICHGRIP)	RATING
		P4

REFER TO SPECIFICATION FOR PRODUCT RATING INFORMATION TEST DATA.

1 7/02/24 ISSUED FOR CONSTRUCTION

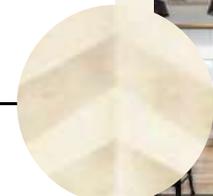
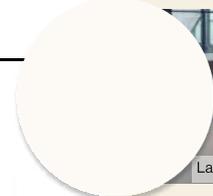
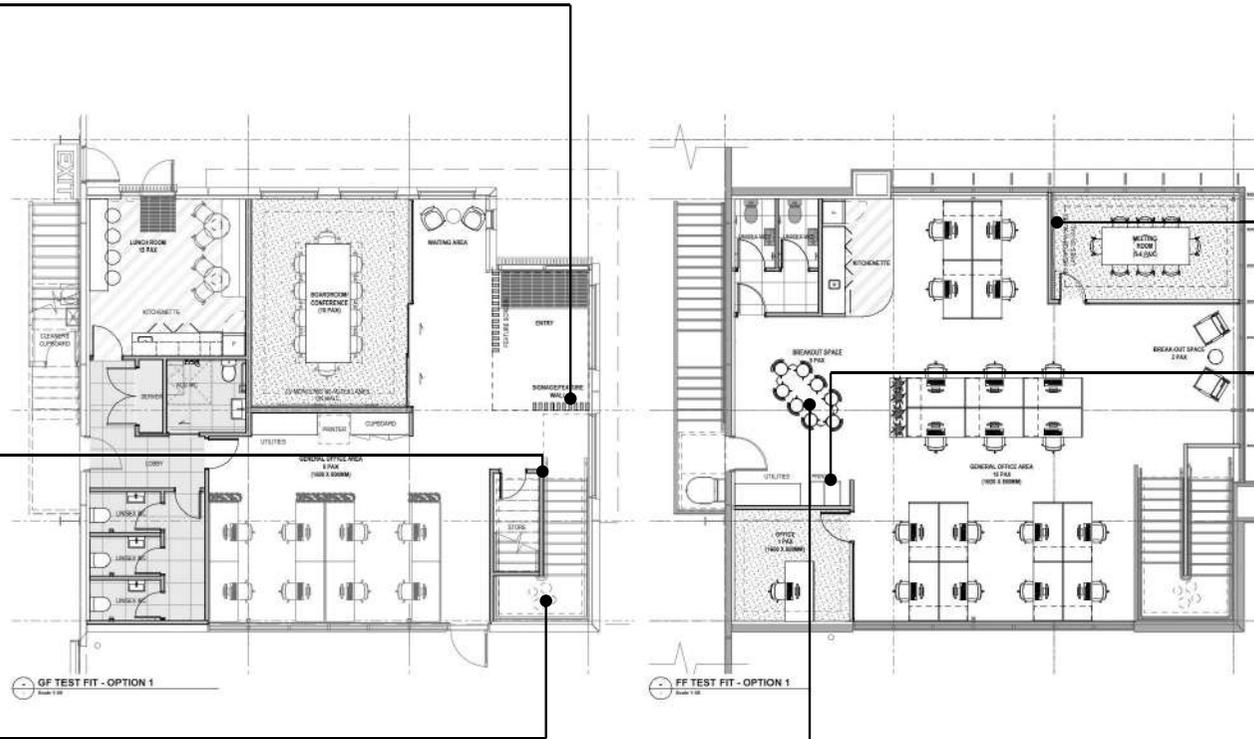
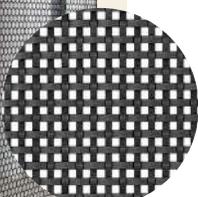
REV	DATE	ISSUE	PROJECT
		<b>STATUS CONSTRUCTION</b>	
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**PROPOSED NEW DEVELOPMENT**  
5 & 7 INANGA STREET  
HOBSONVILLE



DRAWING NAME		JOB REF. 23 004	
<b>OFFICE UPPER FLOOR PLAN</b>		DRAWING No.	REV.
SCALE AT A1 - 1:50		<b>A06</b>	<b>1</b>
DRAWN BY - SMP	DATE - 23/02/2024		

# Space Plan



# Finishes



- 01 Paint Finish - Feature Ceiling Paint  
Resene Abacus
- 02 Paint Finish - General Wall Paint  
Resene Catskill White
- 03 Battens - Entry  
Eclipse - Decorforme 50x100mm Battens
- 04 Flooring - Open Plan & Work Station - Carpet Tiles  
Identify, Perceive, Emulate - Interface - Inzide - 500x500
- 05 Flooring - Kitchen/Staff Room - LVT  
Antique Ash Oak - Interface - Inzide - 250x1000
- 06 Benchtop - Kitchenette - Caesarstone  
White Attica - Laminex
- 07 Joinery - Kitchenette - Laminate  
Azzurro Naxos - Fenix
- 08 Flooring - Tea Point - LVT  
Medium Concrete - Textured Stone - Belgotex - 500x500
- 09 Benchtop - Kitchenette - Acrylic  
White Linen - Laminex
- 10 Joinery - Kitchenette - Laminate  
Vintage Ash - Prime Panels
- 11 Flooring - Bathroom - Tiles  
Kiel Pearl Inout 60 - Tile Space - 600x600
- 12 Wall - Bathroom - Tiles  
Ecostone Oslo Polish - Tile Space - 400x400
- 13 Staircase - Citta - Ellipse Large Black Pendant Light
- 14 Meeting Room & Break Room - Citta - Ellipse Large White  
Pendant Light
- 15 Battens - Tea Point Ceiling  
Honey Oak - Decorforme 50x100mm Battens
- 16 Autex Lanes Sawtooth - Muralla





















## RE: OPTION TO LEASE 5 & 7 INANGA STREET

As per drawing A01, and perspective sketches.

### Sizes

	m <sup>2</sup>	\$/m <sup>2</sup>	\$
Main Warehouse	4537	\$ 234.00	\$ 1,061,658.00
Office	336	\$ 320.00	\$ 107,520.00
Canopy	1132	\$ 96.00	\$ 108,672.00
Carparks	17	\$ 20.00	\$ 17,680.00
<b>TOTAL RENTAL PER ANNUM</b>			<b>\$ 1,295,530.00</b>
			<b>+GST</b>

### Commercial Terms:

10 Year Lease to ADLS 2012 Fifth Edition

Annual increase 3.5%

Midterm review to market hard ratchet

Bank bond for 12 months rental

5+5 rights of renewal

### Available to Purchase

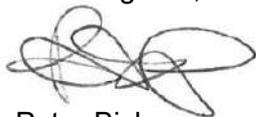
### Design Rationale

The complex is designed with a full precast, high stud 10m knee warehouse. A full drive through canopy allowing 24/7 all-weather operations and disciplined traffic flow allows maximum use of the site and allows strategic positioning of van loading and inwards goods. The development complies with the District Plan for coverage and carparking.

The office is double storey to provide a sharp industrial look utilising feature precast, commercial double-glazed windows and aluminium composite panel. It also has an optimal operations outlook towards the canopy. The main carpark is separate from canopy operations to minimise risk of possible health & safety altercations. The site is fully fenced with auto gates.

The office is fully fit out, designed by Spaceworks. This includes acoustic walls in meeting rooms, aluminium partitioning, acoustic ceiling tiles, tiled bathrooms, feature ceilings, and designer kitchen. This will be ready to walk in and start using!

Kind Regards,



Peter Bishop  
021 228 4656

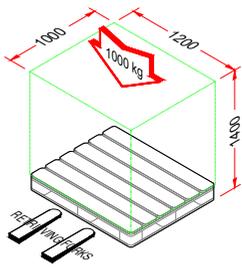


Charlie Bishop  
021 280 2341



Matt Doughney  
021 303 866

**ADON Advise on Alarm systems:**  
 For alarms relating to storage there is no required clearance.  
 However, you need to keep in mind the when storing to the roof, storage may effectively create a wall.  
 NZS 4512:2010 states that anything over 460mm is considered a wall. (storage pallets with product stored to roof could be considered as a wall)  
 Any clearance is recommended to stop the above from happening.  
 To be checked and confirmed by alarm contractor issuing P53.

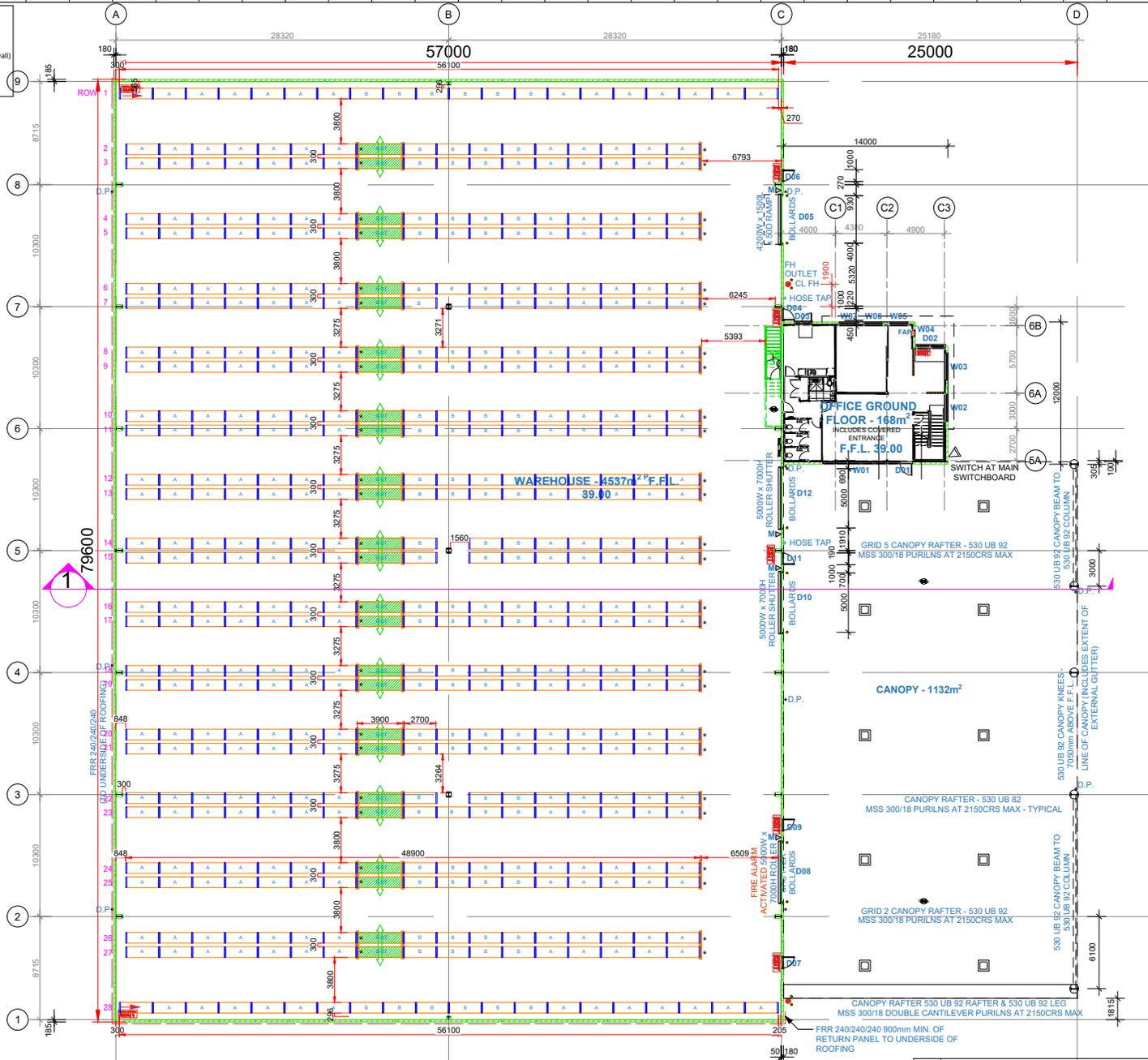


**Design Summary - Plan 1**

Type	Width	Depth	High	Weight	Total
Pallet	1200mm	1000mm	1400mm	1000kg	5960

**\* LOAD SIGN**

**PLAN 1**



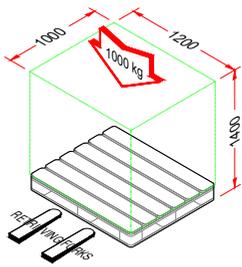
ISSUED FOR APPROVAL  
 WE HAVE ASSUMED THE EXISTING SURFACE ONTO WHICH THIS INSTALLATION IS TO BE BUILT IS CAPABLE OF SUPPORTING THE STRUCTURAL AND ITS CONTENTS. WE RECOMMEND YOU OBTAIN INDEPENDENT VERIFICATION THAT THE EXISTING BUILDING IS CAPABLE OF SUSTAINING THE LOADS.  
 DRAWING APPROVAL:  
 APPROVED BY (SIGNATURE): \_\_\_\_\_ DATE: \_\_\_\_\_

**AUCKLAND RACKING & SHELVING**  
 Optimize your space, grow your business  
 ADD: 56 Allens Road, East Tamaki, Auckland PH: 09 274 1939

**PROPOSED RACKING LAYOUT**  
 EUROCLASS NZ  
 5 & 7 Inanga Street, Hobsonville, Auckland 0618

Rev	Description	By	Date
Drawn By :	KB	Date :	29/08/2025
Checked By :	JB	Paper Size :	A3
Scale :	NTS	Rev. No. :	0
Drawing No. :	AR005008-01	Sht. No. :	1

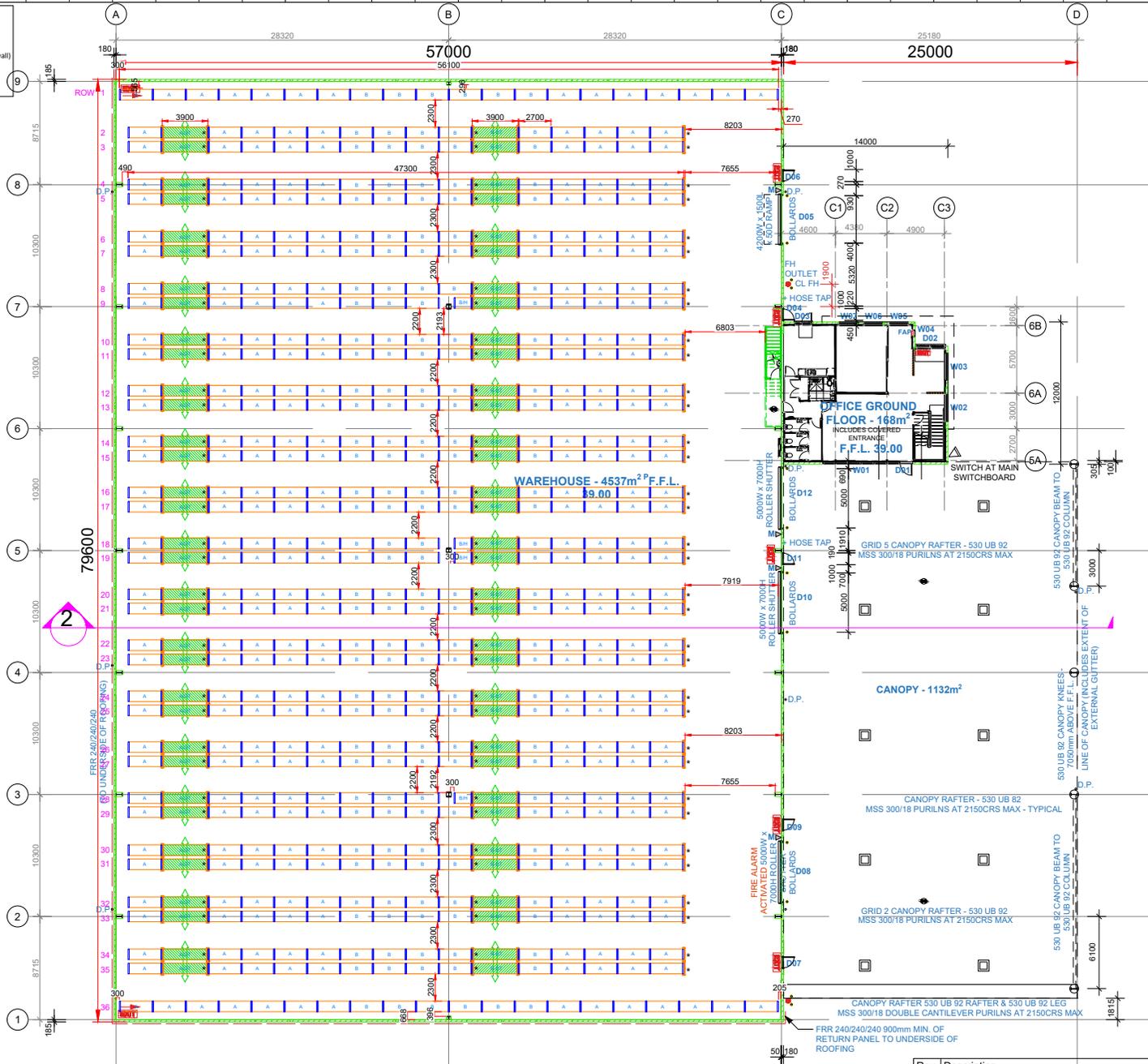
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Design Summary - Plan 2					
Type	Width	Depth	High	Weight	Total
Pallet	1200mm	1000mm	1400mm	1000kg	7956

\* LOAD SIGN

**PLAN 2**



ISSUED FOR APPROVAL  
 WE HAVE ASSUMED THE EXISTING SURFACE ONTO WHICH THIS INSTALLATION IS TO BE BUILT IS CAPABLE OF SUPPORTING THE STRUCTURAL AND ITS CONTENTS. WE RECOMMEND YOU OBTAIN INDEPENDENT VERIFICATION THAT THE EXISTING BUILDING IS CAPABLE OF SUSTAINING THE LOADS.  
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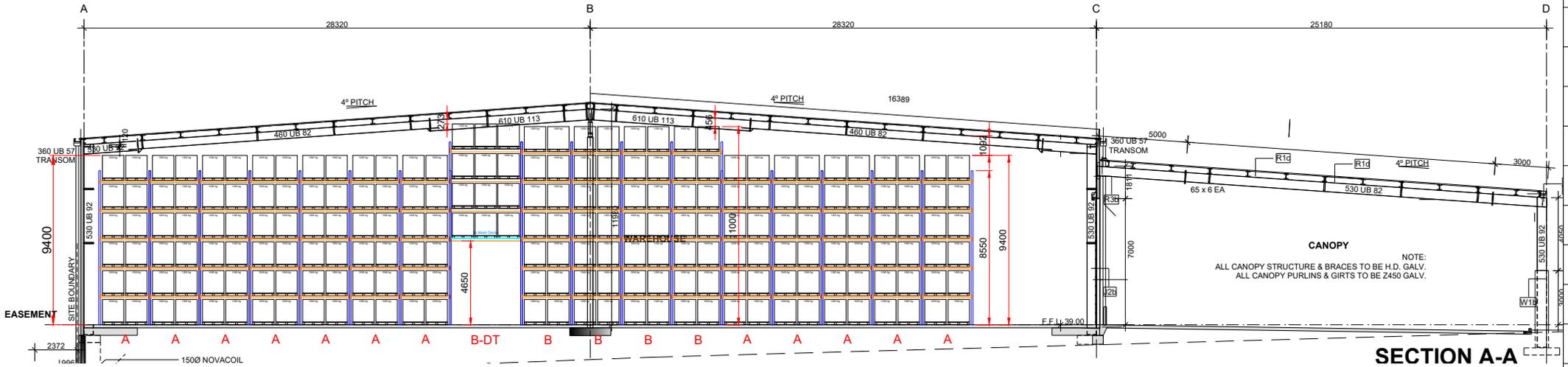
**PROPOSED RACKING LAYOUT**  
 EUROCLASS NZ  
 5 & 7 Inanga Street, Hobsonville, Auckland 0618

Rev	Description	By	Date
1			

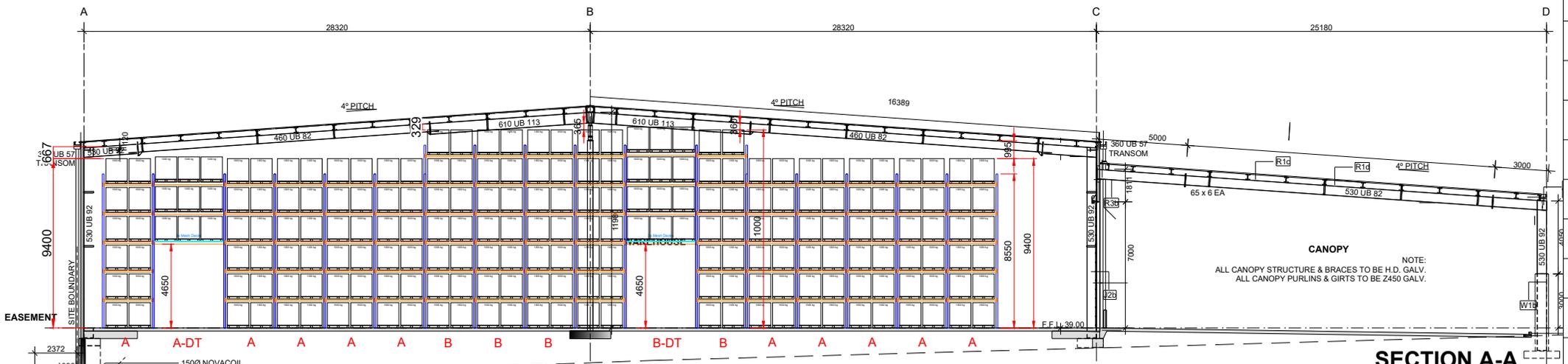
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Rev. No. : 0		Sht. No. : 1

Drawing No. : **AR005008-01**



SECTION 1 for PLAN 1



SECTION 2 for PLAN 2

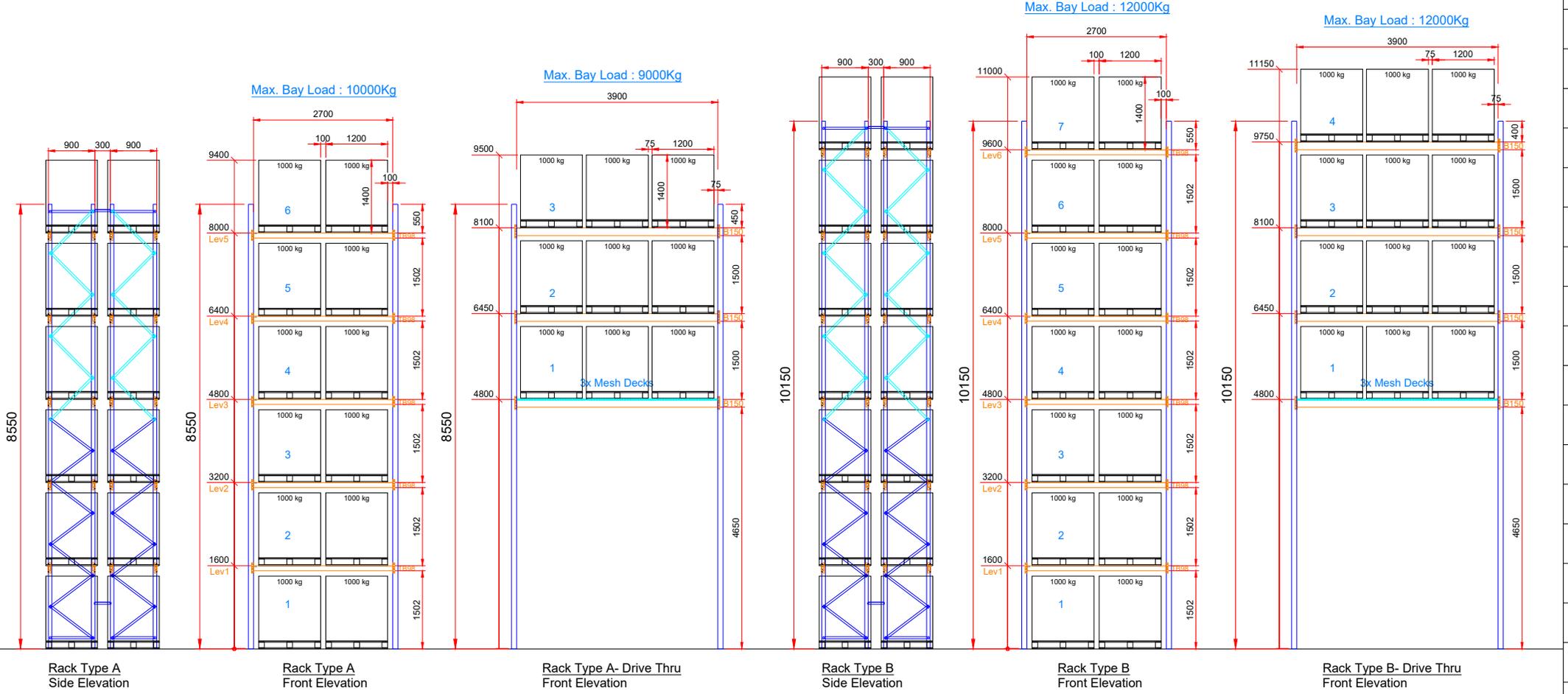
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 DRAWING APPROVAL:  
 APPROVED BY (SIGNATURE): \_\_\_\_\_ DATE: \_\_\_\_\_

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**PROPOSED RACKING LAYOUT**  
 EUROCLASS NZ  
 5 & 7 Inanga Street, Hobsonville, Auckland 0618

Rev	Description	By	Date
Drawn By :	KB	Date :	29/08/2025
Checked By :	JB	Paper Size :	A3
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		Rev. No. :	0
		Sht. No. :	1

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 NZS 4512:2010 states that anything over 460mm is considered a wall. (storage pallets with product stored to roof could be considered as a wall)  
 Any clearance is recommended to stop the above from happening.  
 To be checked and confirmed by alarm contractor issuing P53.



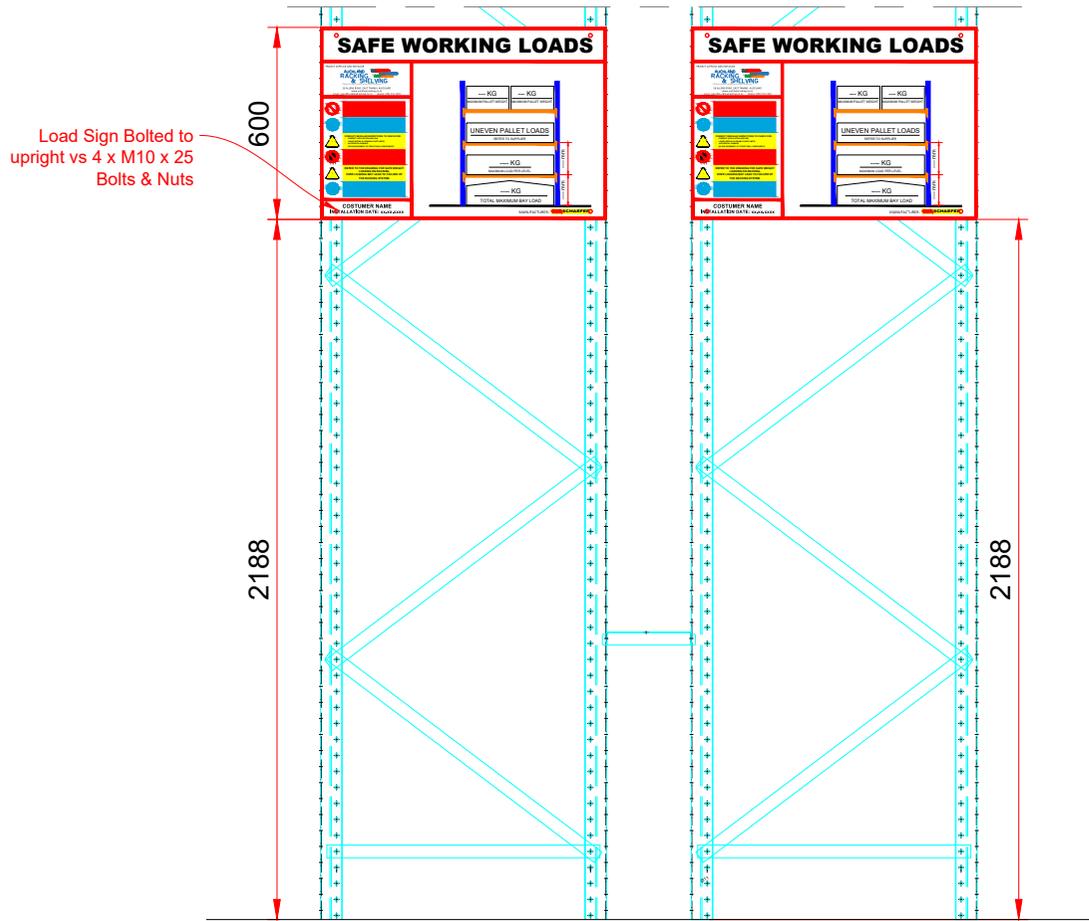
**ELEVATION**

**ISSUED FOR APPROVAL**  
 WE HAVE ASSUMED THE EXISTING SURFACE ONTO WHICH THIS INSTALLATION IS TO BE BUILT IS CAPABLE OF SUPPORTING THE STRUCTURAL AND ITS CONTENTS. WE RECOMMEND YOU OBTAIN INDEPENDENT VERIFICATION THAT THE EXISTING BUILDING IS CAPABLE OF SUSTAINING THE LOADS.  
 DRAWING APPROVAL:  
 APPROVED BY (SIGNATURE) : \_\_\_\_\_ DATE: \_\_\_\_\_

**AUCKLAND RACKING & SHELVING**  
 Optimize your space, grow your business  
 ADD: 56 Allens Road, East Tamaki, Auckland PH: 09 274 1939

**PROPOSED RACKING LAYOUT**  
 EUROCLASS NZ  
 5 & 7 Inanga Street, Hobsonville, Auckland 0618

Rev	Description	By	Date
Drawn By :	KB	Date :	29/08/2025
Checked By :	JB	Paper Size :	A3
Drawn No. :	AR005008-01	Scale :	NTS
		Rev. No. :	0
		Sht. No. :	1



# Signage Install

Load Sign, Alphabet Sign

**ISSUED FOR APPROVAL**

WE HAVE ASSUMED THE EXISTING SURFACE ONTO WHICH THIS INSTALLATION IS TO BE BUILT IS CAPABLE OF SUPPORTING THE STRUCTURAL AND ITS CONTENTS. WE RECOMMEND YOU OBTAIN INDEPENDENT VERIFICATION THAT THE EXISTING BUILDING IS CAPABLE OF SUSTAINING THE LOADS.

DRAWING APPROVAL: \_\_\_\_\_

APPROVED BY (SIGNATURE): \_\_\_\_\_ DATE: \_\_\_\_\_

**AUCKLAND RACKING & SHELVING**

*Optimise your space, grow your business*

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## SIGNAGE INSTALLATION

Rev	Description	By	Date
Drawn By :	Date :	Paper Size :	A3
Checked By :	29/08/2025	Scale :	NTS
Rev. No. :	0	Rev. No. :	0
Drawing No. :	ARSS IN HOUSE	Sht. No. :	1

# Sustainability in action

We are committed to:

Sustainable design principles from large-scale developments to single-building units

Implementation of comprehensive environmental management plans on development sites

Recycling of construction materials where possible, including in-house concrete recycling

Encouraging clients to consider additional design features to promote sustainability such as solar electricity, electric vehicle charging stations and rainwater utilisation

Continual education and training of employees and trades on waste minimisation

Maintaining a modern and efficient fleet of vehicles, plant and machinery

Utilisation of local suppliers and service providers to reduce environmental impact

Encouragement and support for industry development of sustainable construction methods

# Feature Projects



Featurecraft, Hawkes Bay



Esko Safety, New Plymouth



Puretec, Hamilton



Cloke and BrandSpec, Auckland



Jones Trading Group, Auckland



Trade Depot, Hamilton

# Euroclass Business Parks



Stonehill Business Park 2010 / 2025



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