



# Building B, Basalt Business Park

11 Matukutūruru Road, Wiri, Auckland

P 0800 222 898 E [info@euroclass.co.nz](mailto:info@euroclass.co.nz) A Level 3, 40 Onehunga Mall, Onehunga, Auckland 1061 PO Box 13129, Onehunga, Auckland 1643 [euroclass.co.nz](http://euroclass.co.nz)

Information Memorandum

Presented by:  
Euroclass, January 2025

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Euroclass welcomes your interest. For further information, please contact your preferred agent, or the following:

With Innovated buildings come Innovated partners, some of our clients are listed below:



## About Euroclass

Euroclass is a family-run business that has been operating in New Zealand for over 40 years. We have completed over 300 projects around the country, with our main focus being commercial and industrial construction.

We offer a comprehensive service, from developing the concept to delivering the completed project. We manage the entire project with our civil and building arms, ensuring that the project is delivered on time, within budget, and to the highest standard. We focus on building long-term relationships with our clients and have completed projects for a wide range of tenants, investors, and owner-occupiers.

Our focus is on developing a deep understanding of our client's requirements to ensure that we deliver projects that meet their needs. We believe in a collaborative approach and work closely with our clients, consultants, and contractors to achieve the best possible outcome. Our aim is to deliver exceptional service, whether it's a design and build project or a turnkey development, that exceeds our client's expectations.



# 11 Matukutūruru Road, Wiri, Auckland



**24 km**  
AKL City  
Approx. 25 minutes



**5.0 km**  
SH1  
Approx. 6 minutes



**1.5 km**  
SH20  
Approx. 4 minutes



**8.0 km**  
AKL Airport  
Approx. 15 minutes



**3.0 km**  
Railway  
Approx. 7 minutes



Located within  
**Basalt Business  
Park -**  
*An Entire Euroclass  
Development.*



# Basalt Business Park

December 2025

6



## LEGAL DESCRIPTION

SITE ADDRESS - 11 MATUKUTURU ROAD, WIRI, MANGERE.

LOT 2, DP 590175 & Lot 1000 DP 561419

AREA = 0.7646 ha

Zone : Heavey Industrial Zone

Wind Zone : Region A - High

Exposure Zone : Medium Inland Coastal

Earthquake Zone : Zone 1

## AREAS

GROUND FLOOR WAREHOUSE 4200 sqm

GROUND OFFICE 151 sqm

MEZZANINE OFFICE 174 sqm

NORTH CANOPY 1067 sqm

WEST CANOPY 283 sqm

## SITE REQUIREMENTS

LAND AREA 7,646 sqm

LANDSCAPING AREA 25 sqm

IMPERMEABLE SURFACE 7,621 sqm

## CARPARKING

62 People x 0.7 =

@ 2 Accessible carparks for 50 Spaces

TOTAL CARPARKS PROVIDED

## LOADING BAYS

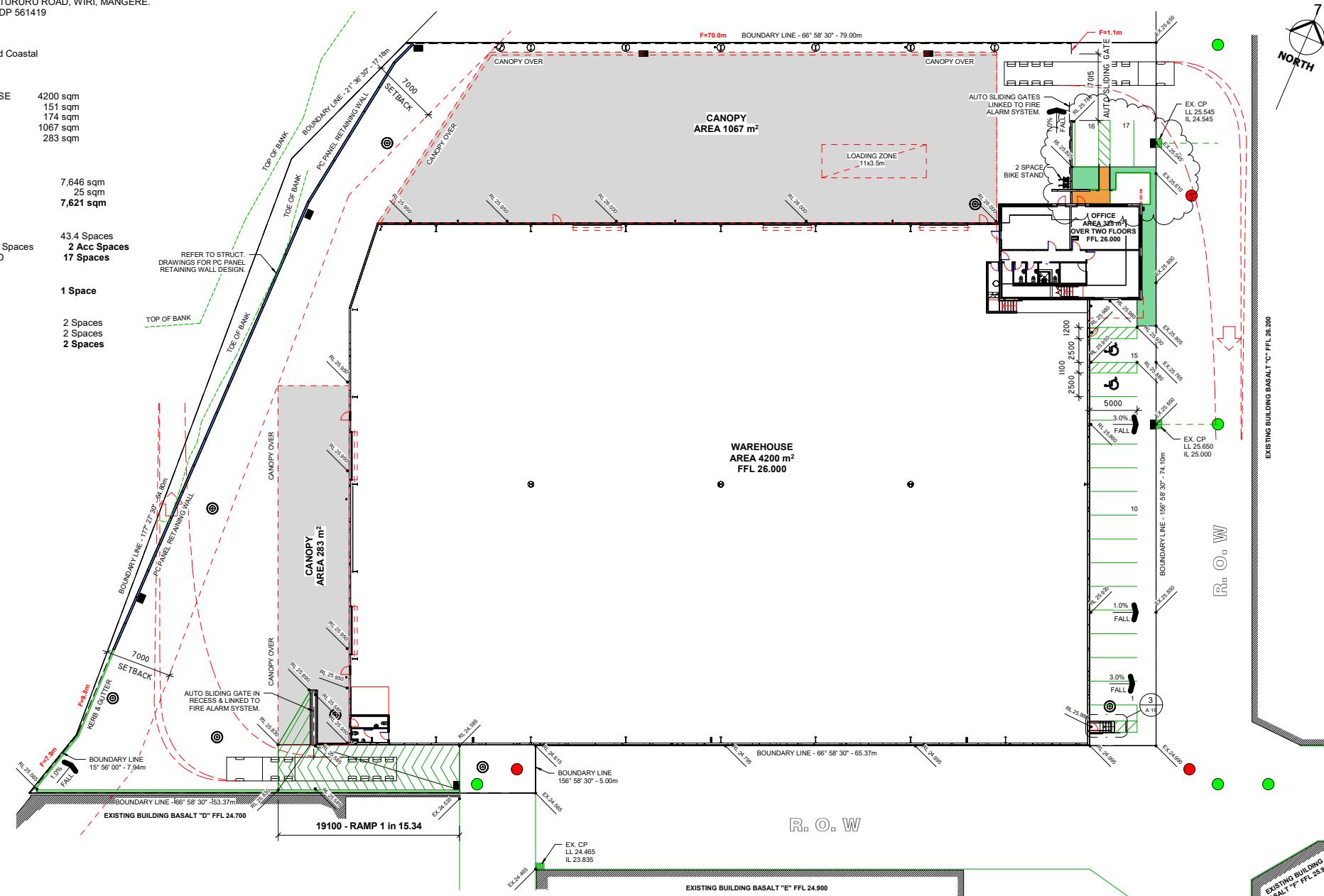
300m<sup>2</sup> to 5000m<sup>2</sup>

## BICYCLE PARKING

Short Stay 1 + 1 / 750m<sup>2</sup> Office

TOTAL

BICYCLE PARKS PROVIDE



## CONSTRUCTION ISSUE

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PROJECT NAME  
**WAREHOUSE OFFICE DEVELOPMENT  
BASALT BUSINESS PARK  
11 MATUKUTURU ROAD, WIRI for  
Euroclass**

**euroclass**  
design | develop | deliver

40 Onehunga Mall, Onehunga, Auckland, P.O. Box 13129, Onehunga  
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ARCHITECTURE LIMITED**

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**SITE PLAN**

E 1/1/25

D 10/06/25

RW AMENDMENT

C 28/02/25

LEVELS AMENDED

**SCALES**

As indicated @ A1

REF DSA-103

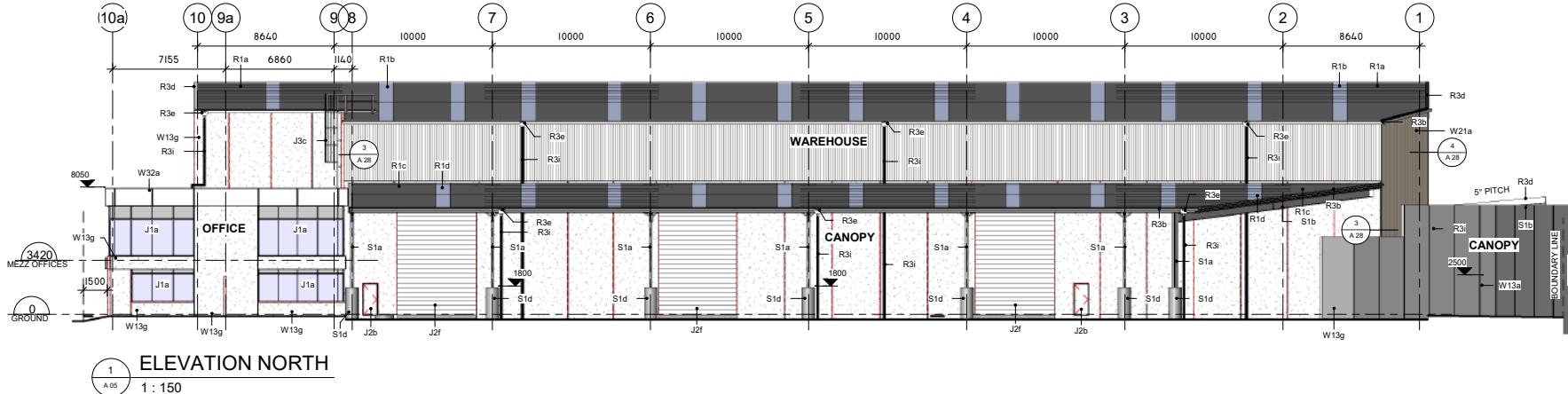
**SCALES**

As indicated @ A1

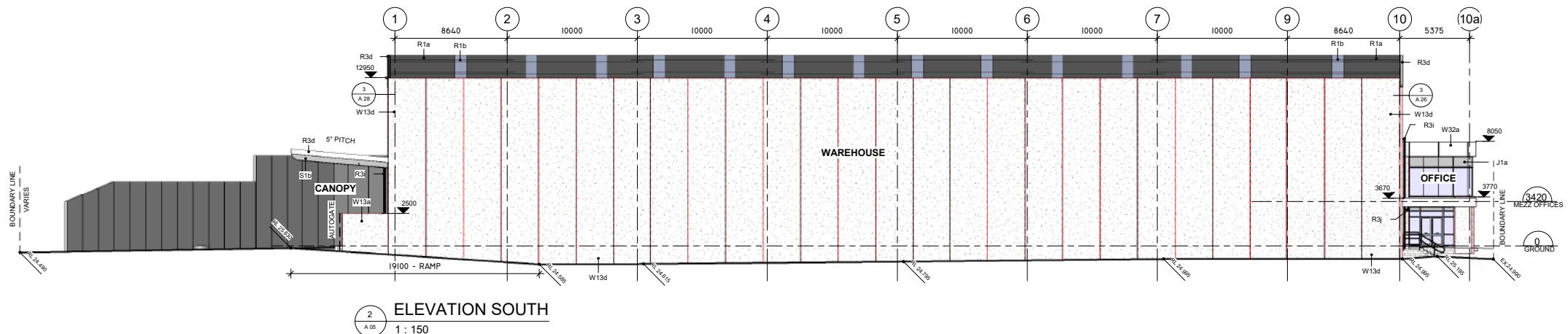
REF DSA-103

SCALES

REF DSA-103



ELEVATION NORTH  
1 : 150



ELEVATION SOUTH  
1 : 150

| FINISHES LEGEND |  |
|-----------------|--|
| Key Value       | Keynote Text   |
| J1a             | Selected powdercoated Commercial Aluminium Joinery with Double glazing to be installed to manufacturers recommendations.   |
| J2b             | Selected External pre finished, Parkwood Aluminium panel bonded door in Aluminium frame, with closer.  |
| J2f             | Selected Aluminium Framed Single glass door, Double Glazed in 6mm selected toughened safety glass, (including side panels) to NZS 4223, Parts 3 & 4.                           |
| J3c             | Aluminium Ladder with cage installed to manufacturer's details.  |
| R1a             | 0.55mm ST963 Zincalume steel roofing laid over Thermakraft 397 Synthetic Foil (or similar approved) and galv. Kiwimesh safety mesh, and fixed to manufacturers specifications. |
| R1b             | Amplate SL Group 3 GRP Translucent sheets (2400g/m. GRP) to match roofing profile, laid over safety netting and fixed to manufacturers specifications.                         |
| R1c             | 0.55mm ST963 Double sided colour steel roofing to canopy (No netting, but a safety net required for installation), fixed to manufacturers specifications.                      |
| R1d             | Amplate Webglas GC Translucent sheets (3660g/m. GRP) to match roofing profile, laid over safety netting and fixed to manufacturers specifications.                             |
| R3b             | 300x165x120mm colorsteel fascia gutter fixed on matching colour galv. steel brackets @ 600mm CRS.  |
| R3d             | 0.55 Folded colour steel Barge flashing.   |

| FINISHES LEGEND |  |
|-----------------|--|
| Key Value       | Keynote Text   |
| R3e             | 0.75mm thk Fabricated colorsteel rain head with overflow and 150mm dia PVC downpipes, securely fixed with purpose made brackets at 2.0m CRS. Max.                                      |
| R3i             | uPVC 150 downpipe.   |
| R3j             | uPVC 100 downpipe.   |
| S1a             | External Steel columns, hot dipped galvanized finish.  |
| S1b             | External Steel beams, hot dipped galvanized finish.  |
| S1d             | Concrete protection to steel column, Refer structural details.   |
| W13a            | 150 reinforced concrete Panel, unpainted   |
| W13d            | 180 reinforced concrete Panel, unpainted   |
| W13g            | 165 reinforced concrete panel, paint finish.   |
| W21a            | MSS Steel girts with ST900 0.4mm colourfeel Vertical cladding outer face.  |
| W32a            | Paneltec Indurabond ACP Panel cladding system on Building Wrap to H1.2 Timber stud framing at 600mm crs. Supplied and fixed by Specialist contractors to manufacturers specifications. |

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11 MATUKUTURURU ROAD, WIRI for  
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design | develop | deliver

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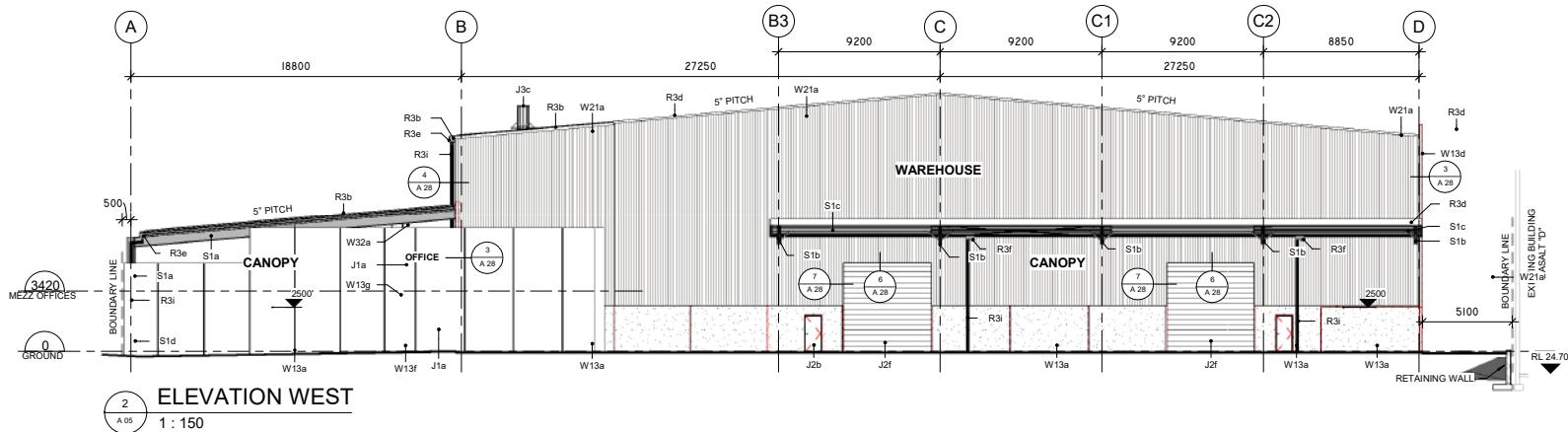
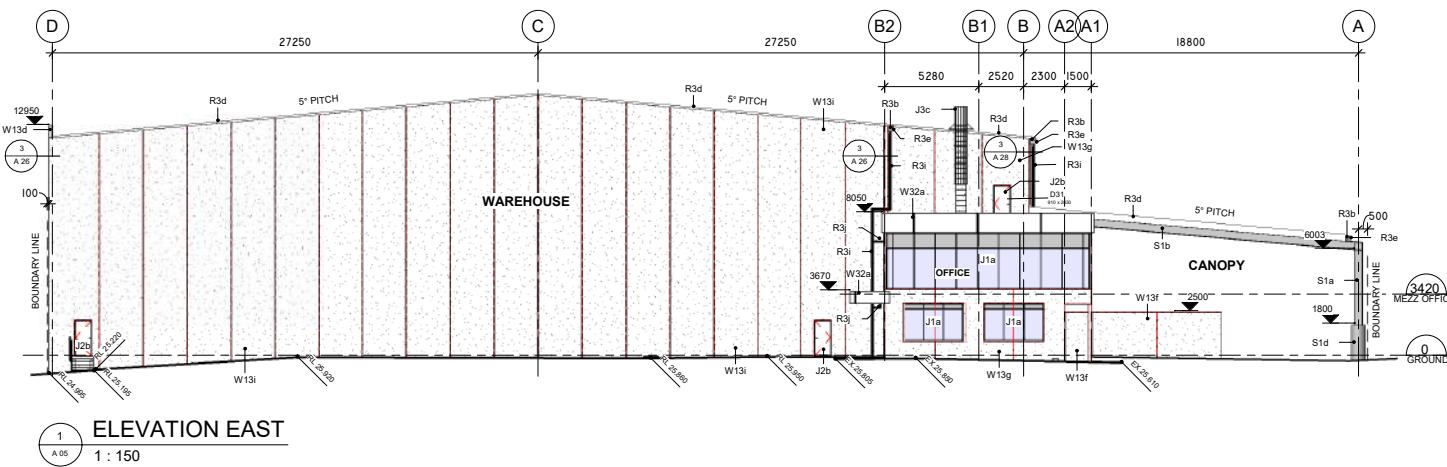
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**OVERALL ELEVATIONS - NORTH & SOUTH**

C 17/02/25 SWMH HIDDEN  
B 04/02/25 CONSTRUCTION ISSUE  
A 03/12/24 WH CORNER AMENDED

DESIGN DSA TITLE ARCHITECTURAL SCALES 1 : 150 @ A1  
DRAWN RG DATE 11/11/2025 10:44:13 am  
REF DSA-103

**SHEET A 06**  
REVISION C  
REF DSA-103



| FINISHES LEGEND |  |
|-----------------|--|
| Key Value       | Keynote Text   |
| J1a             | Selected powdercoated Commercial Aluminium Joinery with Double glazing to be installed to manufacturers recommendations.                             |
| J2b             | Selected External pre finished, Parkwood Aluminium panel bonded door in Aluminium frame, with closer.  |
| J2f             | Selected Aluminium Framed Single glass door, Double Glazed in 6mm selected toughened safety glass, (Including side panels) to NZS 4223, Parts 3 & 4. |
| J3c             | Aluminium Ladder with cage installed to manufacturer's details.  |
| R3b             | 300x165x120mm colorsteel fascia gutter fixed on matching colour galv. steel brackets @ 600mm CRS.  |
| R3d             | 0.55 folded colour steel Barge flashing.   |
| R3e             | 0.75mm thi. Fabricated colorsteel rain head with overflow and 150mm dia PVC downpipes, securely fixed with purpose made brackets at 2.0m CRS. Max.   |
| R3f             | Skelerup IMR 130 Rainhead with 150 or 200 downpipe and overflow.   |
| R3i             | uPVC 150 downpipe.   |
| R3j             | uPVC 100 downpipe.   |
| S1a             | External Steel columns, hot dipped galvanized finish.  |

| FINISHES LEGEND |  |
|-----------------|--|
| Key Value       | Keynote Text   |
| S1b             | External Steel beams, hot dipped galvanized finish.  |
| S1c             | External Steel purlins, Z450 galvanized finish.  |
| S1d             | Concrete protection to steel column, Refer structural details.   |
| W13a            | 150 reinforced concrete Panel, unpainted   |
| W13d            | 180 reinforced concrete Panel, unpainted   |
| W13g            | 150 reinforced concrete panel, paint finish.   |
| W13i            | 165 reinforced concrete panel, paint finish.   |
| W21a            | 200 reinforced concrete panel, paint finish.   |
| W21a            | MSS Steel girts with ST900 0.4mm coloursteel Vertical cladding outer face.   |
| W32a            | Paneltec Indurabond ACP Panel cladding system on Building Wrap to H1.2 Timber stud framing at 600mm crs. Supplied and fixed by Specialist contractors to manufacturers specifications. |

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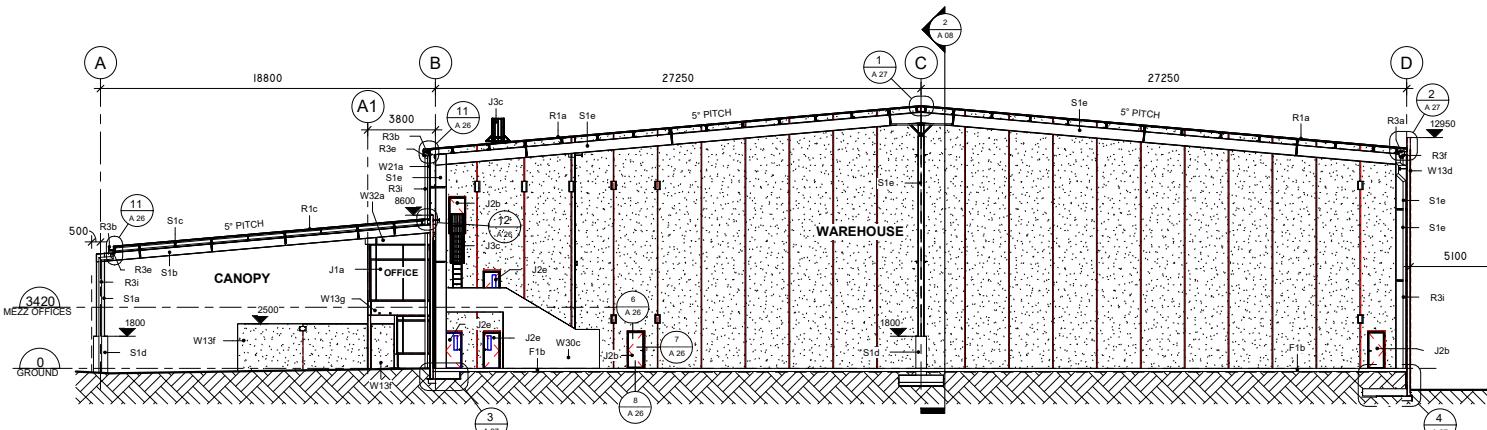
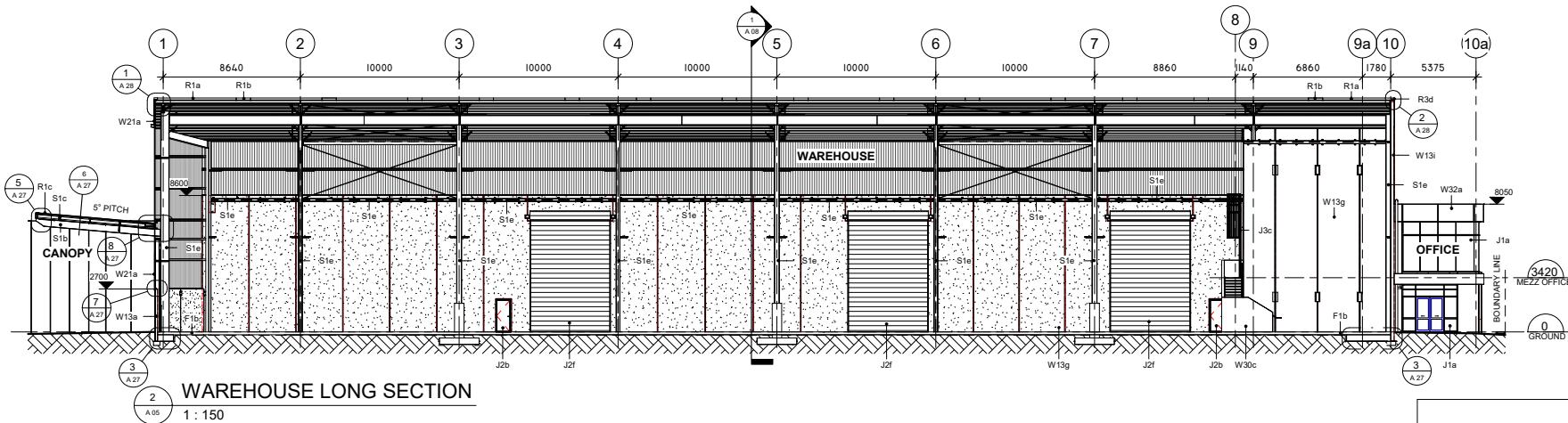
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**OVERALL ELEVATIONS - EAST & WEST**

C 1/08/25 DETAILS ADDED  
B 04/02/25 CONSTRUCTION ISSUE  
A 03/12/24 WH CORNER AMENDED

**Sheet A 07**  
DESIGN DSA TITLE ARCHITECTURAL SCALES 1 : 150 @ A1  
DRAWN RG DATE 11/11/2025 10:44:15 am  
REF DSA-103



| FINISHES LEGEND |   |
|-----------------|---|
| <b>Key</b>      | <b>Value</b>  |
|                 | <b>Keynote Text</b>   |
| F1b             | 180mm Post Tensioned Concrete Slab on 250 Mu DPM membrane on 50mm thk blinding on 300mm thk compacted hardfill.   |
| J1a             | Selected powdercoated Commercial Aluminium Joinery with Double glazing to be installed to manufacturers recommendations.  |
| J2b             | Selected External pre finished, Parkwood Aluminium panel bonded door in Aluminium frame, with closer.   |
| J2e             | NZFD FIRE RATED DOORSET, NZFD30 or 60 Internal, MDF faced Solid core, Smoke rated, 30mm Pine Jambs, paint quality doors, with lever handle hardware, if noted Vision Panel 200x600mm High 6mm Georgian Glass, refer to door schedule.                         |
| J2f             | Selected Aluminium Framed Single glass door, Double Glazed in 6mm selected toughened safety glass, (Including side panels) to NZS 4223, Parts 3 & 4.  |
| J3c             | Aluminium Ladder with cage installed to manufacturer's details.   |
| R1a             | 0.55mm ST1963 Zincalume steel roofing laid over Thermakraft 397 Synthetic Foil (or similar approved) and galv. Kiwinesh safety mesh, and fixed to manufacturers specifications.   |
| R1b             | Ampelite SL Group 3 GRP Translucent sheets (2400g/m <sup>2</sup> GRP) to match roofing profile, laid over safety netting and fixed to manufacturers specifications.   |
| R1c             | 0.55mm ST1963 Double sided colour steel roofing to canopy (No netting, but a safety net required for installation), fixed to manufacturers specifications.  |
| R3a             | 1.5mm thk Butynol membrane laid to fall, adhesive fixed to H3 CCA construction plywood complete with fall to dip and overflows.   |
| R3b             | 300x165x120mm colorsteel fascia gutter fixed on matching colour galv. steel brackets @ 600mm CRS.   |
| R3d             | 0.55mm Folded colour steel Barge flashing.  |
| R3e             | 0.75mm thk Fabricated colorsteel rain head with overflow and 150mm dia PVC downpipes, securely fixed with purpose made brackets at 2.0m CRS. Max.   |
| R3f             | Skellerup IML 130 Rainhead with 150 or 200 downpipe and overflow.   |
| R3i             | uPVC 150 downpipe.  |
| S1a             | External Steel columns, hot dipped galvanized finish.   |
| S1b             | External Steel beams, hot dipped galvanized finish.   |
| S1c             | External Steel purlins, Z450 galvanized finish.   |
| S1d             | Concrete protection to steel column, Refer structural details.  |
| S1e             | Internal Steel column or Beam, Paint finish.  |
| W13a            | 150 reinforced concrete Panel, unpainted  |
| W13d            | 180 reinforced concrete Panel, unpainted  |
| W13f            | 150 reinforced concrete panel, paint finish.  |
| W13g            | 165 reinforced concrete panel, paint finish.  |
| W13i            | 200 reinforced concrete panel, paint finish.  |
| W21a            | MSS Steel girts with ST900 0.4mm coloursteel Vertical cladding outer face.  |
| W30c            | FRR 30/30/30 (GBTL30 ZS) 140x45mm SG8 H1.2 Timber stud framing at 600mm c/s. 140x45mm SG8 H1.2 top & bottom plate & nogs at 800 c/s. Bituminous DPC at Concrete floor & walls. Clad both sides with 13mm gib Fyreline, Stop & sand to level 4 & paint finish. |
| W32a            | Paneltec Indurabond ACP Panel cladding system on Building Wrap to H1.2 Timber stud framing at 600mm c/s. Supplied and fixed by Specialist contractors to manufacturers specifications.  |

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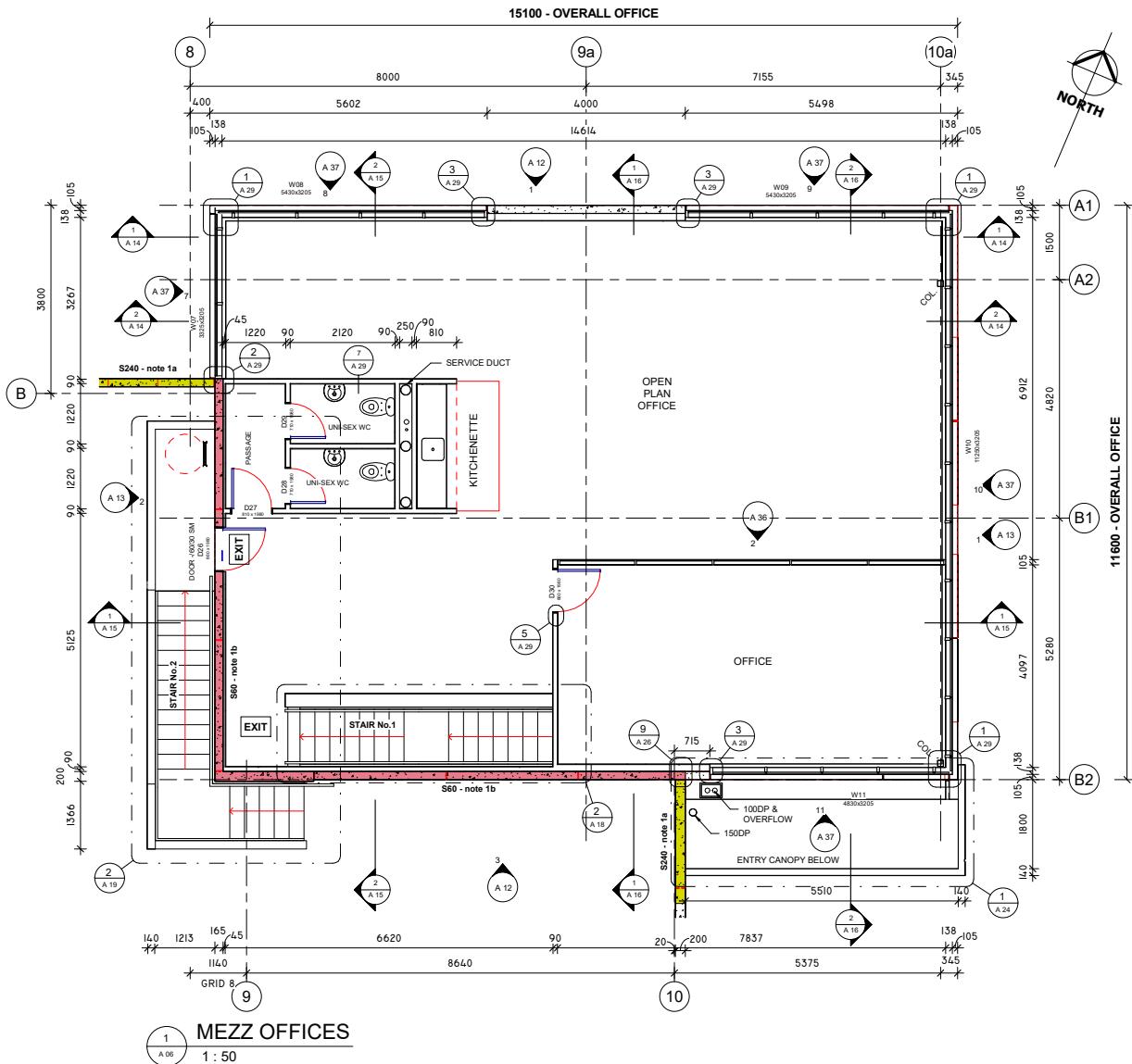
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**WAREHOUSE SECTIONS**

| B 04/02/25 CONSTRUCTION ISSUE<br>A 03/12/24 WH CORNER AMENDED |                                |               | SCALES<br>1 : 150 @ A1 |
|---|--------------------------------|---------------|------------------------|
| DESIGN<br>DSA   | TITLE<br>ARCHITECTURAL         | REVISION<br>B | REF<br>DSA-103         |
| DRAWN<br>RG   | DATE<br>11/11/2025 10:44:17 am |               |                        |





#### MECHANICAL VENTILATION / AIR CONDITIONING

ALLOW TO PROVIDE MECHANICAL EXTRACT VENTILATION TO ALL TOILET / AMENITIES AREAS. VENTILATION SHALL BE A MINIMUM OF 15 AIR CHANGES PER HOUR.

ALLOW TO PROVIDE AIR CONDITIONING TO ALL THE OFFICE AREAS. OUTDOOR AIR SUPPLY SHALL BE DESIGNED AND EQUIPMENT INSTALLED TO COMPLY WITH NZS4303, OR AS 1652.2 AND OUTDOOR AIR FLOW RATES TO OCCUPIED SPACES TO COMPLY WITH NZS4303 TABLE 2.

AIR HANDLING SYSTEMS SHALL BE INSTALLED AND MAINTAINED TO THE REQUIREMENTS OF NZS4302 SECTIONS 202 TO 204.

#### FIRE SAFETY PRECAUTIONS

14. IN ACCORDANCE WITH C/AS2. THE FOLLOWING MINIMUM FIRE SAFETY PRECAUTIONS ARE REQUIRED FOR THIS BUILDING.

a) TYPE 3 - WAREHOUSE & CANOPY - AUTOMATIC FIRE ALARM SYSTEM ACTIVATED BY HEAT DETECTORS AND MANUAL CALL POINTS COMPLYING WITH NZS 4512:2021 AND F7/AS1.

b) TYPE 4 - OFFICE - AUTOMATIC FIRE ALARM ACTIVATED BY SMOKE DETECTORS AND MANUAL CALL POINTS COMPLYING WITH NZS 4512:2021 AND F7/AS1.

c) TYPE 16 - EMERGENCY LIGHTING TO NZBC F6/AS1. THIS IS APPLICABLE TO THIS BUILDING AND SHALL BE DESIGNED BY THE LIGHTING ENGINEER.

d) TYPE 18C - FIRE SERVICE VEHICLE ACCESS. AS THE FIRE SERVICE DOOR IS REMOTE FROM THE FIRE SERVICE VEHICLE, ACCESS TO AN EXIT ON THE LEFT, FIRE DOOR IS LEFT OPEN 75m. NOT REQUIRED FOR COVERAGE ON GROUND LEVEL BY CIVIC REFERENCED HYDRANT STANDARD NZS 4510. REFER APPENDIX B FOR BACKGROUND INFORMATION. THE REQUIREMENTS FOR FIRE SERVICE VEHICLE ACCESS ARE PROVIDED IN APPENDIX C.

15. FIRE HOSE REELS AND EXTINGUISHERS ARE NOT REQUIRED BY THE VERIFICATION METHOD FOR THIS BUILDING. HOWEVER, EITHER PORTABLE FIRE EXTINGUISHERS OR HOSE REELS, INSTALLED IN COMPLIANCE WITH NZS 4503, ARE RECOMMENDED AND MAY BE CLIENT OR THEIR INSURER'S REQUIREMENT.

16. ESCAPE ROUTES SHALL HAVE EXIT SIGNAGE TO FACILITATE ESCAPE IN ACCORDANCE WITH F8/AS1. THIS WILL INCLUDE EXIT SIGNS AT DOORS GIVING ACCESS TO A FINAL EXIT OR EXITWAY, DIRECTIONAL SIGNS WITHIN THE EXITWAY WHEN THE ROUTE OF TRAVEL IS NOT CLEAR, AND AT DOORS IN OPEN PATHS WHERE THE DOOR GIVES ACCESS TO AN EXITWAY OR FINAL EXIT AND IS NOT VISIBLE IN NORMAL USE. SELF ILLUMINATED EXIT SIGNS ARE RECOMMENDED AS THEY REQUIRE EMERGENCY LIGHTING ILLUMINATION IN COMPLIANCE WITH F8/AS1.

#### INTERNAL SURFACE FINISHES

| OFFICE   | GROUP No  |
|--|-----------|
| WALLS  | G1-S      |
| CEILINGS                                       | G1-S      |
| HVAC   | I-S       |
|  | 1-S       |
|  | 1, 2 or 3 |
| WAREHOUSE                                      |           |
| ROOF UNDERLAY                                  | SFI=5     |
| INTERIOR WALLS                                 | G1-S      |
| FLOOR COVERINGS                                |           |
| - Primo Safe.T 2mm VINYL FLOORING TO WET AREAS | CRF 10.2  |
| - CODFREY HURST TUFTED LOOP PILE WOOL CARPET   | CRF 9.3   |

#### FIRE RATING NOTES

##### S240 - note 1a

165, 180 & 200mm THICK 40MPa PRECAST CONCRETE PANELS TO ACHIEVE A FRR 240/240/240

##### S60 - note 1b

165 & 200mm THICK 40MPa PRECAST CONCRETE PANELS TO ACHIEVE A FRR 6/60/60

##### F30 - note 2a

ALL LOAD BEARING TIMBER FRAMED WALLS TO HAVE ONE LAYER OF 13mm GIB FYLELINE EACH SIDE TO ACHIEVE A TWO WAY FRR 30/30/30. (GBTL 30 28 )

##### F30 - note 2b

ALL STEEL BEAMS AND COLUMNS SUPPORTING THE MEZZANINE FLOOR TO HAVE AN INTUMESCENT PAINT TREATMENT TO ACHIEVE A FRR 30/30/30

##### F30 - note 2c

INTERNAL TIMBER FRAMED WALLS (LINED ON FIRE SIDE), TO HAVE ONE LAYER OF 16mm GIB FYLELINE TO ACHIEVE A ONE WAY FRR 30/30/30. (GBWU 30a)

#### SERVICES PENETRATIONS

ALL SERVICE PENETRATIONS THRU FIRE RATED WALLS & FLOORS TO HAVE FIRE COLLARS INSTALLED TO MATCH FIRE RATING OF ELEMENT THEY PASS THRU.

#### FIRE RATING SEALANTS

**S240 - note 1a**  
10mm THICK SIKAFLEX 400 FIRE SEALANT INSIDE & 10mm THICK SIKAFLEX AT CONSTRUCTION POLYURETHANE OUTSIDE.

**S240 - note 1a - Party Wall**  
10mm THICK SIKAFLEX 400 FIRE SEALANT BOTH SIDES.

**S60 - note 1b**  
10mm THICK SIKAFLEX 400 FIRE SEALANT BOTH SIDES.

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**OFFICE FLOOR PLAN - MEZZANINE**  
B 24/07/25 STAIR No.1 FIRE RATING WALLS AMENDED  
A 04/08/25 CONSTRUCTION ISSUE

DESIGN DSA TITLE ARCHITECTURAL SCALES As indicated @ A1  
DRAWN RG DATE 11/11/2025 10:44:20 am  
REF DSA-103





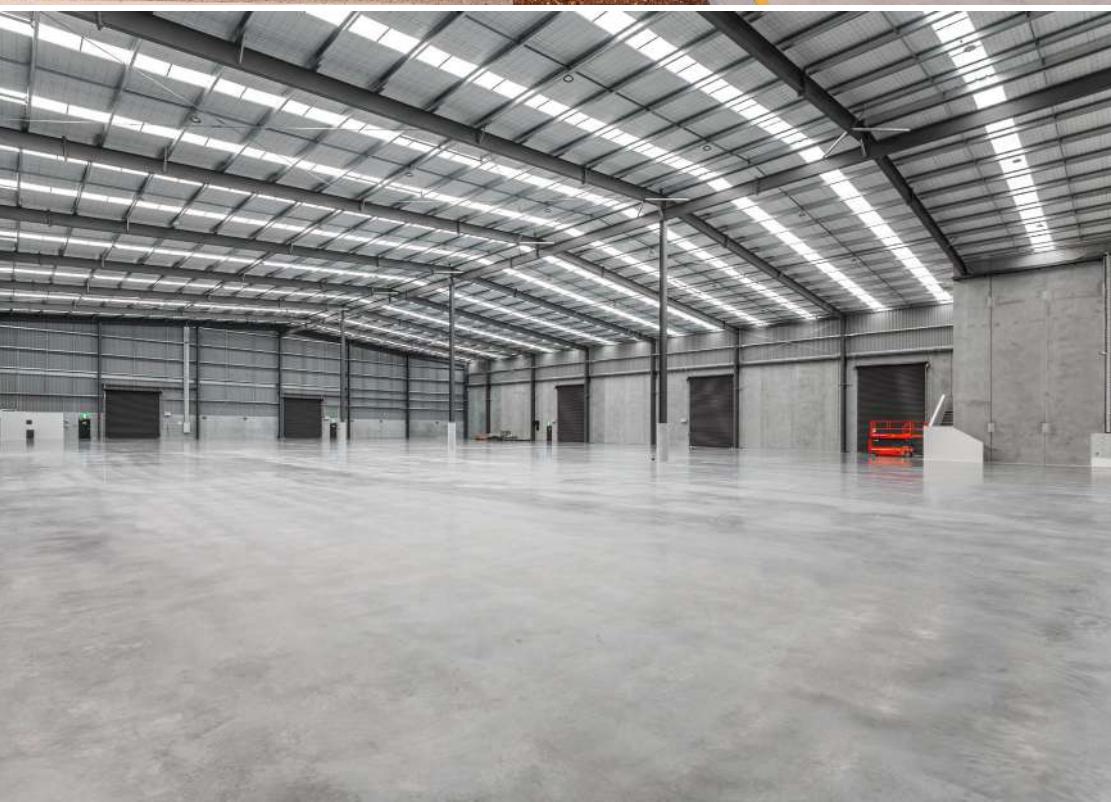




















## Outline Specification

**Project: Basalt Business Park Building B**

**Date: 12<sup>th</sup> January 2026**

The following “outline specification” is a precise description of the construction elements, plumbing services, internal fitting out, sundry costs and contingencies provided and included for in the Design & Build proposal. Any specified product may be substituted with a comparable product with the same or better performance characteristics at the discretion of the main contractor.

The outline specification, the bulk & location plan (Ref: DSA-103 Rev L) attached hereto constitute the essential documentation to a bona fide tender. Each of the above documents should be read in conjunction with each other.

### Contents:

|                  |  |
|------------------|--|
| <b>Section A</b> | <b>Preliminary &amp; General</b>                   |
| <b>Section B</b> | <b>Site Preparation</b>                            |
| <b>Section C</b> | <b>Office – Basic Structure and Elements</b>       |
| <b>Section D</b> | <b>Warehouse – Basic Structure and Elements</b>    |
| <b>Section E</b> | <b>Internal Fitout and Finishes to the Offices</b> |
| <b>Section F</b> | <b>Services</b>                                    |
| <b>Section G</b> | <b>External Works</b>                              |
| <b>Section H</b> | <b>Exclusions + Clarifications</b>                 |
| <b>Section I</b> | <b>Programme</b>                                   |

## Preliminary & General

### A 01 Professional Fees (Design Consultants)

Allowance is included for professional fees associated with a structural engineering design and architectural design of the project by a registered engineer and architectural consultant.

### A 02 Fire Design Summary (Fire Report)

Allowance is included for professional fees associated with the preparation of a fire design summary. The fire design will be prepared to allow for the greatest storage height allowed based on the building height and will generally be designed in accordance with the Verification Method C/VM2. Note as outlined in H01, sprinklers are excluded.

### A 03 Geotechnical Report (Soil Report)

Allowance is included for the preparation of a geotechnical soil report by a registered engineer experienced in geotechnical engineering.

### A 04 Cranes, Plant, Small Tools and Scaffolding

Allowance is included for the provision of all craneage, plant and equipment, all installed and operated in accordance with pertinent standards, codes and regulations and in accordance with local authority requirements.

### A 05 Builders Site Services

Allowance is included for all necessary on-site sheds, hoardings, builders' sign, toilets, site phone, power, water supply and safety requirements.

### A 06 Insurance

Allowance is included for contract works insurance, Professional Indemnity insurance, Public Liability insurance, accident compensation, tool and plant insurance.

### A 07 Consent Fees

Allowance is included for building consent fees. No allowance for resource consent costs, council fees and development levies, or compliance costs for special conditions are included in our offer.

### A 08 Waste Disposal

Allowance is included for periodic cleaning up of the works of waste materials, and removal from site.

### A 09 Final Clean Up

Allowance is included for final cleaning of the works and removal of waste and for final interior and exterior clean, including windows.

## Site Preparation

### **B 01 Demolition**

No allowance is included for demolition of any kind.

### **B 02 Excavation**

Allowance is included for excavation to levels to be specified in the detailed design and for all excess material to be removed from site and or relocated and compacted elsewhere on the site all in accordance with such pertinent standards, codes and regulations as may apply and to the satisfaction of the local authority.

### **B 03 Rock Excavation**

No allowance has been made for the excavation and removal of any solid rock. Solid rock is defined as rock which requires blasting or drilling and/or rock breaking and cannot be removed by a 12 tonne excavator machine.

### **B 04 Unsuitable Ground**

No allowance is included for the excavation and removal of unsuitable founding materials as determined and instructed by the Geotechnical Engineer.

### **B 05 Relocation of Existing Services**

No allowance has been made to relocate any existing services, sewer, stormwater lines or manholes, as may be required by local authority.

## Office - Basic Structure and Elements

### C 01 Foundations

Allowance is included to construct in situ reinforced concrete strip footings, column pads, tie beams etc. all as designed and specified by the Registered Structural Engineer.

### C 02 Floor

Ground Floor – 100mm thick 25 MPa in situ reinforced concrete floor laid over polythene damp proof membrane over compacted hardfill. Concrete floor shall be power float finished to a smooth, dense, even surface. Construction joints as designed and specified by designer.

First Floor – concrete floor on proprietary Hibond steel decking as designed by registered engineer. Floor loading 3.0 kPa to the office slab.

### C 03 Structural Frame

a Structural steel frames with rafters at a 3-5 degree pitch. Stud height 2.68m minimum from concrete floor to underside of ceiling. All structural frames shall be complete with all necessary transverse members, bracing etc and all as designed and specified by the structural engineer.

### C 04 External Walls

Shall be a combination of painted precast concrete panels, and composite aluminium and selected powder coated aluminium windows with 6mm reflective glass.

### C 05 Roof

0.55mm thick galvanised or zincalume steel roofing over minimum R3.2 fibreglass blanket insulation over breather type roof underlay over 75mm galvanised wire netting over galvanised steel and/or timber purlins.

### C 06 Gutters, Flashings & Downpipes

All external gutters are allowed to be Coloursteel fascia gutters with PVC downpipes as designed. All internal gutters shall be butynol lined plywood internal gutters complete with downpipes and overflow.

### C 07 Windows & Glazing

All windows to be commercial quality powder coated aluminium frames glazed with selected tinted glass.

### C 08 Matwell

3 x 'Advance Flooring' commercial entrance mat has been included.

### C 09 External Finishes

a Prefinished aluminium panels to façade. Only panels proved to comply with fire requirements of NZBZ will be used.

b Selective reflective glazing in powder coated aluminium joinery.

c Paint finished precast concrete panels, lime wash effect.

- d** Unpainted zincalume finish roofing.
- C 10 Internal Finishes**  
All areas have been allowed to be painted. No allowance has been made for special finish of any kind.

## Warehouse – Basic Structure and Elements

### D 01 Foundations

Allowance is included to construct in situ reinforced concrete strip footings, column pads, tie beams etc, all as designed and specified by the designer and their consultant registered structural engineer.

### D 02 Floor

180mm thick in post tensioned floor, 40 MPa concrete floor laid over polythene damp proof membrane over 150mm min compacted hardfill. Floor loading 20 kPa uniform floor load. Concrete finish to FM2 standard.

The floor shall be power float finished to a dense, smooth, even surface. Construction joints will be at centres specified by the consultant registered structural engineer. The floor shall be coated with Sika Purigo 5S or similar (surface hardener/dust sealer) on completion. The joints shall be unfilled. Slab free of any structural cracking but as concrete shrinks, minor shrinkage cracks are inevitable. Construction joints are armoured steel proprietary system. Typically, LESA or similar.

### D 03 Structural Frame

- a Structural steel portal frames at 4-5 degrees pitch. Stud height to be 12m to top of portal knee and approximately 14.4m in the centre with central spine beam.
- b All structural frames shall be complete with all necessary transverse steel members, bracing etc, all as designed and specified by the consultant registered structural engineer and finished with steel primer paint.
- c All purlins and girts shall be galvanised cold rolled steel type.

### D 04 External Walls

#### a Precast Concrete Panels

Shall be designed by the Consultant Registered Structural Engineer. Walls on boundaries shall be full height as required by the NZ Building Code. The remaining walls not required to be fire rated shall be low height panels 2.7m high above floor level unless otherwise noted. Precast panels shall be jointed with flexible sealants. Walls are natural finished unless noted otherwise.

#### b Metal Cladding

0.4mm selected Colorsteel metal profiled cladding fixed vertically on galvanised steel girts – standard colour range.

### D 05 Roof

#### a

0.55mm galvanised or zincalume roofing of selected profile laid over 314 thermobar whitecap paper, over 75mm galvanised wire mesh netting over galvanised steel purlins.

#### b

Included is 1 strip of translucent sheeting per 5m run of roofing for natural lighting.

**D 06 Gutters, Flashings & Downpipes**

Exterior gutters shall be colour selected profile, with PVC downpipes. Internal gutters shall be 1.5mm butynol rubber lined on plywood, complete with downpipes and overflows. All flashings to roofing shall be made from the same material as the roofing.

**D 07 External Doors**

- a** 5 electrically operated powder coated Roller Shutter doors (minimum 5m x 5m) by an industrial door specialist with motors are included in our offer. External doors to have 150mm diameter steel bollards each side.
- b** Aluminium powder coated exterior personnel doors as requested to warehouse.

**D 08 External Finishes**

- a** Precast concrete panels; paint finish where under canopy
- b** Coloursteel cladding: selected Coloursteel colour
- c** Roller doors: selected standard powder coat colour
- d** Aluminium egress doors: selected powder coat finished
- e** Roof: Zincalume unpainted

**D 09 Internal Finishes**

- a** Warehouse side of partition walls to the offices are paint finished
- b** No allowance has been made for any special finished to any surface including the concrete floor, apart from the dust seal.
- c** Timber doors from the office into the warehouse are to be enamel paint finished.

**D 10 Canopy**

Canopy clearspan with a minimum height of 6.0m above FFL, external legs to canopy hot dip galvanised. Translucent roofing as per warehouse roof. Includes LED lowbay lights to underside of canopy for night loading.

## Internal Fitting Out and Finishes to the Offices

- E 01 Partitions**
  - a Office Partitioning**  
Partitions to the plans an per DSA A10 and A11. Balance open plan (office partitioning can be provided by Euroclass if required)
  - b Office Perimeter, lunchroom and amenities**  
Timber or steel partitions 2.70m high, 10mm Gibraltar board lining, flush stopped and paint finished. (Note toilet amenities ceiling at 2.4m high)
- E 02 Door Hardware**
  - a Offices etc**  
Cylinder Mortise latch sets with lever arm handles. Door closer allowed where necessary. No allowance to master key door locks.
  - b Toilets**  
Toilet indicator bolts allowed.
- E 03 Sundry Hardware**
  - a** Total 1 toilet roll holder per toilet cubicle
  - b** Total 1 mirror per each wash hand basin
  - c** Total 1 coat hook per toilet cubicle
  - d** Total 1 towel rail per each toilet room
- E 04 Sundry Fittings**
  - a** Water Closets  
Total 5x (4 x separate and 1 x disabled persons toilets) white vitreous china wash down pans complete with low level flushing cistern (Dux centre flush or equivalent) complete with white plastic seat.
  - b** Wash Hand Basins  
Total 5 x white wall mounted wash hand basins complete with hot and cold chrome single lever tap per basin
  - d** Shower  
Allowance for one shower in the disabled cubicle
  - e** Hot Water Cylinder  
Allow to install 1 x 7.5 litre boiling water units. Allow to install 1 x 135 litre mains pressure hot water cylinder + 43L cylinder in WH Amenities.
- E 05 Floor Coverings**
  - a** Carpet  
A PC Sum of \$90.00 per m<sup>2</sup> laid for commercial carpet (40 oz Godfrey Hirst or similar laid by direct stick method)
  - b** Vinyl (Amenities and Lunchroom)  
2mm thick Polyflor commercial vinyl or similar. An allowance of \$90.00 per m<sup>2</sup> laid is included for floor coverings to the lunchroom and amenities.

**E 06 Ceilings**

- a** Offices  
USG 600mm x 600mm two-way white suspended ceiling system with 12mm (USG or similar) mineral fibre tiles or 10mm paint finished Gib board.
- b** Amenities  
10mm thick Gib board painted ceiling.
- c** Feature tiles t.b.c.

**E 07 Kitchen**

- a** Total 2 (1/2530mm & 1/3100mm) wide sink bench tops in Silestone Range and a matching splashback in Silestone Range
- b** Prefinished Melamine cabinetry with under bench and overhead cupboards. 1 x rubbish bin and 1 x microwave box included
- c** Cupboard doors and drawer fronts in Melteca range
- d** 1 x lever action faucet and 1 x Hydrotap G5 B Classic Plus Chrome or similar Boiling Only under bench tap unit included
- e** 2 x double power outlets above bench. Power outlets to client supplied appliances.
- f** A provisional sum per kitchen of \$12,500.00 + GST has been included for kitchen cabinetry

## Services

### F 01 Plumbing

Allowance is included to lay a 20mm diameter watermain from the site boundary to the building. All sanitary fittings shall be connected to the mains water supply and drained to the council sanitary drainage connection. All hand basins, sinks, shall be connected to a hot water system. All materials and workmanship shall be in accordance with all applicable regulations, standards and to the satisfaction of the local authority.

### F 02 Drainage

#### a Stormwater

All downpipes shall be connected to an underground stormwater drainage system comprising PVC or concrete pipes, complete with all the necessary manholes, traps etc to discharge into the council stormwater system.

#### b Sanitary Drainage

All sanitary fittings shall be connected to an underground sanitary drainage system comprising PVC pipes and complete with all necessary manholes, traps, vents etc and connected to the council sanitary drainage system.

### F 03 Electrical

#### a Mains Supply

Allowance is included to supply and lay a 150 amps per phase, 3 phase mains cable to the building and to supply 1 no mains switch/meter board. Included is a provisional sum for \$10,000 for your local electrical network provider to provide a plinth at the boundary.

#### b Power Reticulation

Allowance is included for 35 No single phase double switched socket outlets to the office area only.

Wiring is included for the Hot Water cylinders.

Wiring is included for the 3 phase motorised roller doors.

#### c Lighting

##### i Offices (Generally)

1200 x 300 LED panel lights with diffusers to give lighting level of 500 lux maximum. Flush mounted.

##### ii Toilet/Amenity Areas

LED down lights included.

##### iii Warehouse

200w high LED Highbay lights 56 x quantity.

##### iv Exterior

Includes LED down lighting to the main entry, lowbay lighting to the canopy and 2 off 400w floodlights to building and yard.

### F 04 Telephone & Data

Exclusion: The provision of all telephone systems, equipment and cabling shall be the responsibility of the client. Allowance is included for a 100mm diameter PVC telecom duct.

**F 05 Fire Protection**

An allowance for a minimum of a type 2f (Manual fire alarm system with call points) fire alarm system is included. The alarm system shall be in accordance with the fire design summary as required by the NZ building code.

**F 06 Air-Conditioning**

**a** Air-conditioning of the offices and ventilation of the toilet/amenity areas is included in our offer, all to comply with the NZBC to offices areas including lunchroom.

**b Design Parameters**

|   |                                |
|---|--------------------------------|
| Summer Outdoor conditions                 | 26.5 deg C DB<br>21.0 deg C WB |
| Indoor Temperature                        | 22.0 deg C DB                  |
| Winter Outdoor conditions                 | 7.0 deg C DB<br>6.0 deg C WB   |
| Indoor Temperature                        | 21.0 deg C DB                  |
| Maximum deviation in temperature anywhere | 1.5 deg C DB                   |
| Occupancy Rate                            | 1 person / 10m <sup>2</sup>    |
| Total Power & Lighting Input              | 30 watts / m <sup>2</sup>      |
| Glass Shading Coefficient                 | 0.60 or better                 |
| Sound Levels between                      | NC 35 and NC 40                |

**c Fresh Air**

Allowed to introduce fresh air at the rate of 1 litres/second/m<sup>2</sup> of floor area, or 10 litres/second/person, whichever is the greatest.

**F 07 Security System/Data**

Provisional sum \$120,000 is included for a security system or data.

## External Works

### G 01 Yards, Car Parking & Drives

Included in our offer is to extend the formation of all yard area shown in the drawings. The warehouse yards to be 150mm 30 MPa reinforced concrete, placed over 150mm hardfill and finished with a light broom finish, and saw cut into rectangles as directed outside main warehouse only. The main front car park is in 30mm Hotmix M10 on 300mm subbase. The joints shall be unfilled. Slab free of any structural cracking but as concrete shrinks, minor shrinkage cracks are inevitable.

### G 02 Car Park Marking

Allowance is included for marking out each car parking space in white marking paint, and yellow to disabled carparks.

### G 03 Landscaping

A provisional sum allowance of \$12,000 is included to landscape the project.

### G 04 Fencing & Gates

Included in our offer is for the supply and installation of standard black chain link security fencing to the perimeter with auto gates.

### G 05 Hose Taps

Total 4 hose taps have been allowed for in our offer.

## Exclusions & Clarifications

### H 01 Exclusions

No allowance has been made for the following:

- GST
- Telecom and telephone works
- Fit out additional internal partitioning
- Office furniture / reception counter
- White ware / kitchen appliances
- Blinds and curtains
- Specialist equipment
- Additional wiring to the warehouse for power points, forkhoist charges, sub-boards etc.
- Corporate signage
- Flag poles etc
- Lockers
- Gas installation
- Any shelving whatsoever
- Fitout of any kind to warehouse
- Consent lodgement for racking, associated engineering, emergency lighting and fire report revisions
- Additional lighting to suit racking aisles
- Air-conditioning & Ventilation to the general warehouse
- Water and drainage reticulation inside the warehouse for manufacturing
- Sprinklers
- Resource Consent application and associated costs
- Council reserve contributions and development levies
- Infrastructure upgrade levies
- Building Warrant of Fitness fees and ongoing compliance schedule costs
- Piling
- Contamination
- Unsuitable ground conditions
- Any service works outside the boundary, i.e. moving data pits, streetlights, cesspits etc.
- No cable trunking included
- Access control to gates

### H 02 Clarifications

Any variations to the contract shall be costed out and approved in writing by Client prior to being carried out.

## Programme

### I 01 Preliminary Programme

The following programme is an indication of the time that we would expect to achieve once all the contracts have become unconditional. Note – Euroclass can't be held responsible for delays in the consent phase – best endeavours only but we are not contractually liable.

### I 02 Drawings

Time from acceptance of our quotation 12 Weeks

### I 03 Building Consent

Time from lodgement with Local Authority 12 Weeks

### I 04 Construction

Time from Issue of Building Consent 36 Weeks

### I 05 Total

Total time from acceptance to completion 60 Weeks

## Executive Summary

# 11 Matukutururu Road, Wiri, Auckland 2104

As per bulk & location

### Sizes

|           |                     |
|-----------|---------------------|
| Warehouse | 4,200m <sup>2</sup> |
| Office    | 325m <sup>2</sup>   |
| Canopy    | 1,350m <sup>2</sup> |
| Carparks  | 17                  |

### Design Rationale

The complex is designed as a full drive around with disciplined traffic flows for maximum efficiency and to minimise health and safety risk.

The warehouse is 12m to the top of the portal, increasing to 13m in the centre, with a post-tensioned jointless floor. This enables up to 8000 standard pallets to be stored.

The office is 2 level with a concrete mid floor. The internal walls are precast to provide a 60min firewall and an excellent sound barrier. The office overviews the main drive through canopy.

### Rental Rates

|           |   |
|-----------|---|
| Warehouse | 4,200m <sup>2</sup> @ \$225.00/m <sup>2</sup> |
| Office    | 325m <sup>2</sup> @ \$300.00/m <sup>2</sup>   |
| Canopy    | 1,350m <sup>2</sup> @ \$95.00/m <sup>2</sup>  |
| Carparks  | 17 @ \$20.00ea/week                           |

|    |            |
|----|------------|
| \$ | 945,000.00 |
| \$ | 97,500.00  |
| \$ | 128,250.00 |
| \$ | 17,680.00  |

**TOTAL RENTAL PER ANNUM**

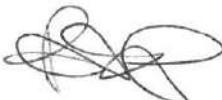
|    |              |
|----|--------------|
| \$ | 1,188,430.00 |
|    | + GST        |

### Commercial Terms:

10 Year Lease to ADLS 2012 Fifth Edition  
 Annual increase 3.5%  
 Midterm review to market hard ratchet  
 Bank bond for 12 months rental  
 5+5 rights of renewal

Available to purchase.

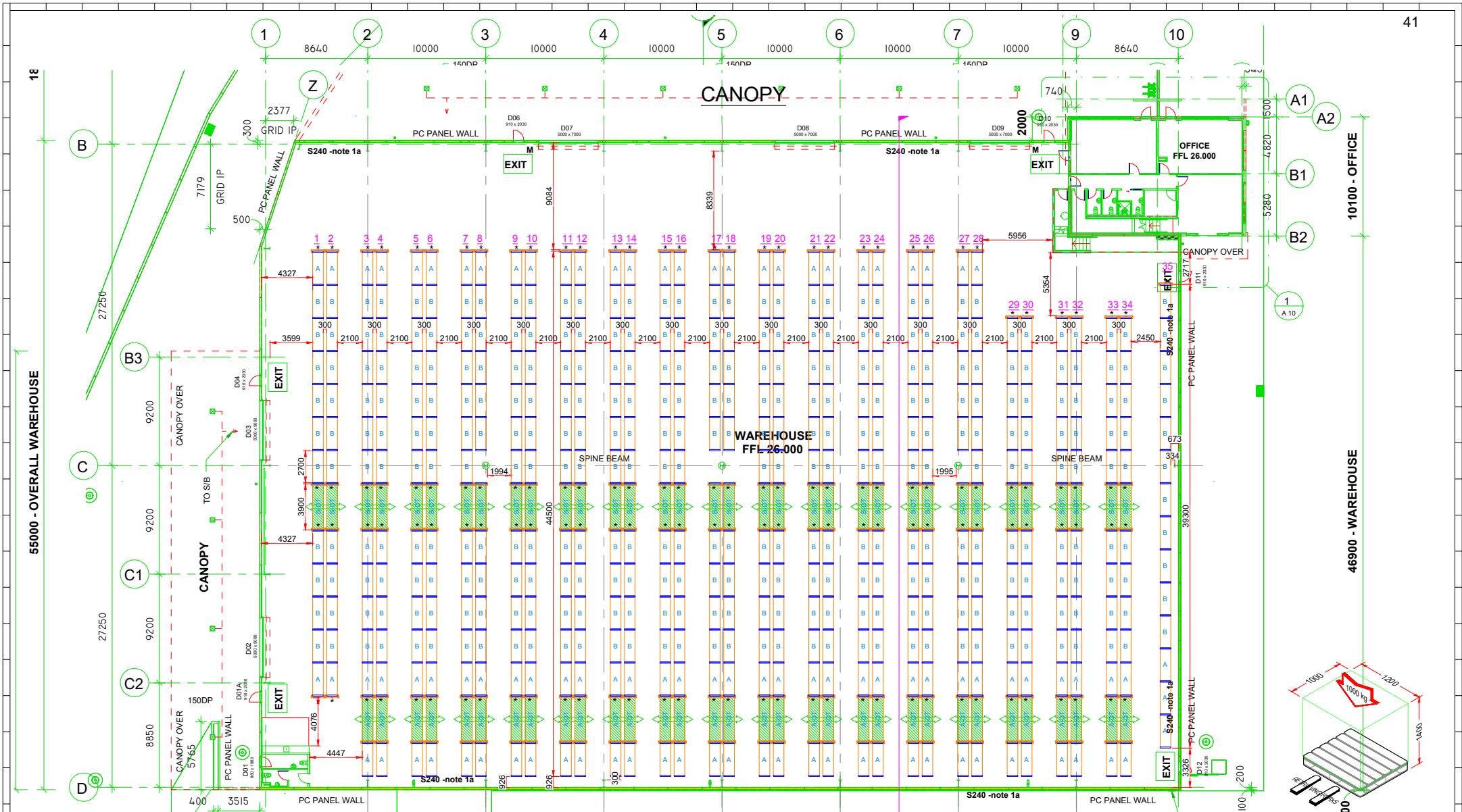
Kind Regards,



Peter Bishop  
 021 228 4656

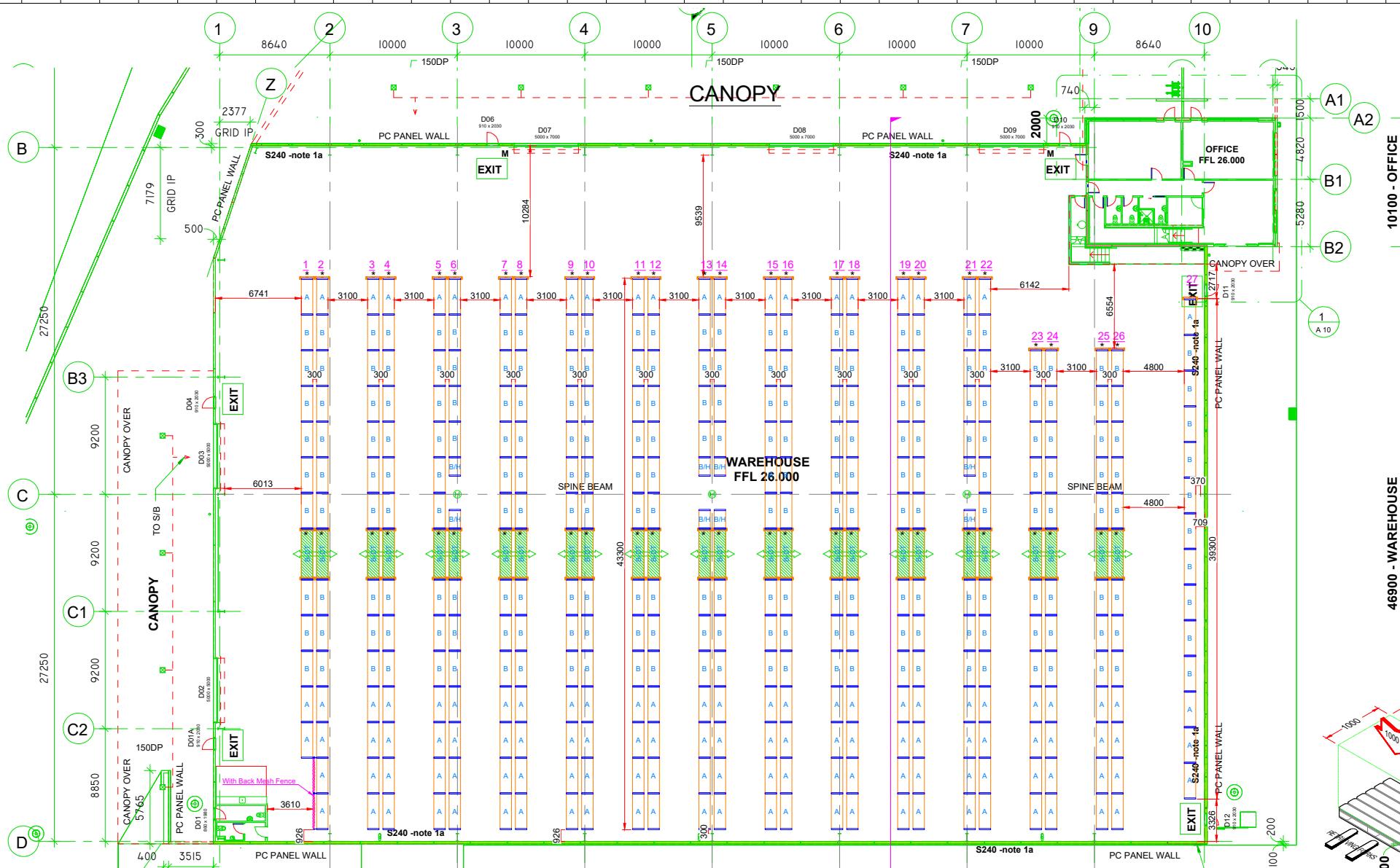


Charlie Bishop  
 021 280 2341



\* LOAD SIGN

- For Aislemaster Style Articulated Forklift



**AQN Advise on Alarm systems:**  
For alarms relating to storage there is no required clearance.  
  
However, you need to keep in mind when storing to the roof, storage may effectively create a wall.  
  
NZS 4512:2010 states that anything over 460mm is considered a wall. (storage pallets with product stored to roof could be considered as a wall)

Any clearance is recommended to stop the above from happening.

ISSUED FOR APPROVAL

WE HAVE ASSUMED THE EXISTING SURFACE ONTO WHICH THIS INSTALLATION IS TO BE BUILT IS CAPABLE OF SUPPORTING THE

STRUCTURAL AND ITS CONTENTS. WE RECOMMEND YOU OBTAIN INDEPENDENT VERIFICATION THAT THE EXISTING BUILDING IS CAPABLE OF SUSTAINING THE LOADS.

DRAWING APPROVAL :

APPROVED BY (SIGNATURE): \_\_\_\_\_ DATE: \_\_\_\_\_ ADD: 56 Allerton

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## PLAN 2

- For Reach Truck Style Forklift

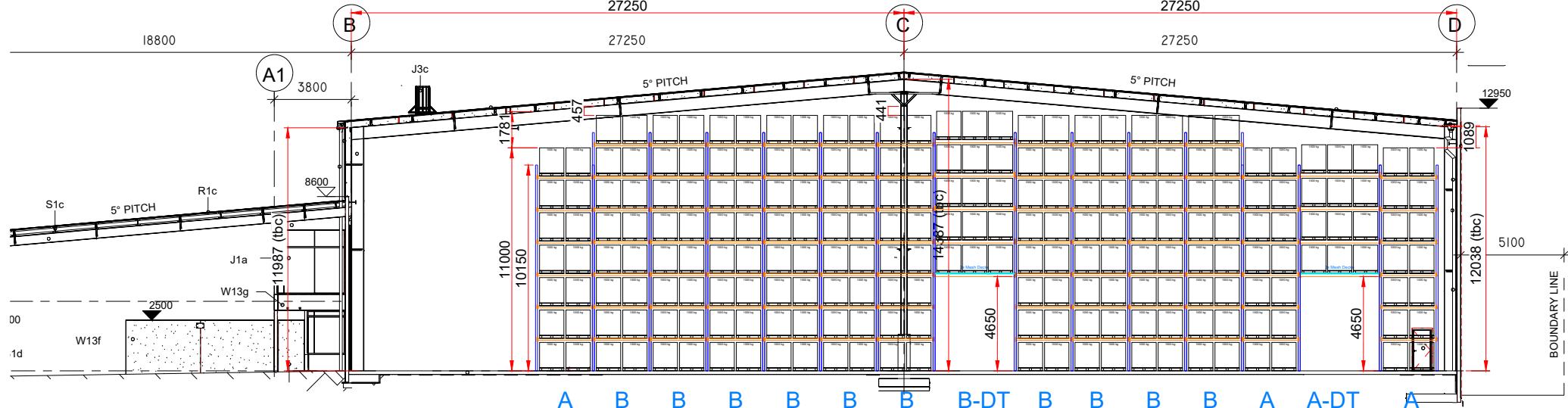
# PROPOSED RACKING LAYOUT

## EUROCLASS NZ

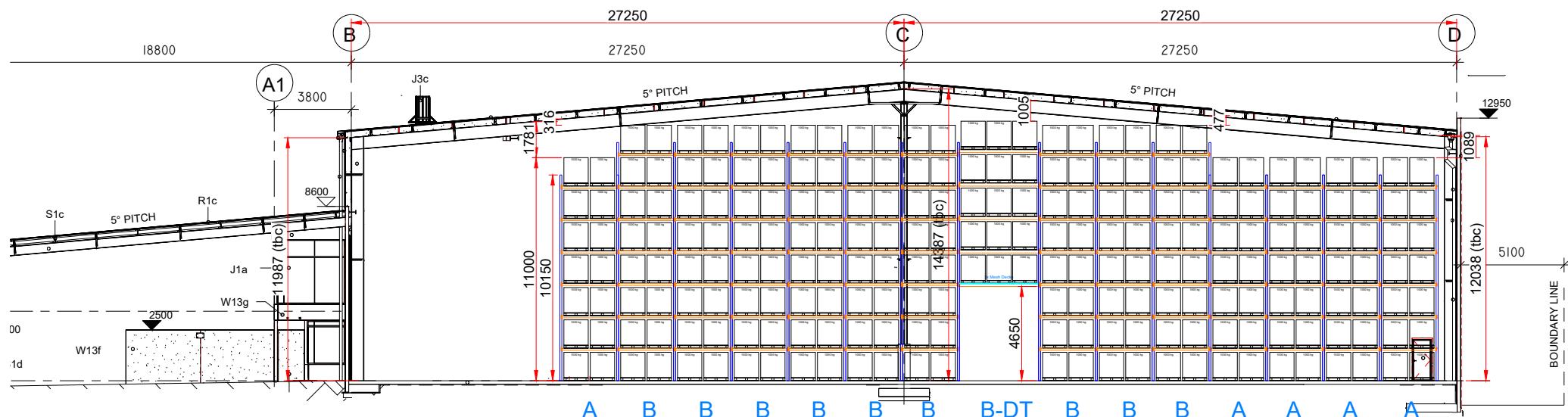
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design | develop | deliver

| Design Summary - Plan 2 |        |        |        |        |       |
|-------------------------|--------|--------|--------|--------|-------|
| Type                    | Width  | Depth  | High   | Weight | Total |
| Pallet                  | 1200mm | 1000mm | 1400mm | 1000kg | 5958  |

| Rev  | Description       | By              | Date |
|--|-------------------|-----------------|------|
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| Drawn By : kb  | Date : 16/09/2025 | Paper Size : A3 |      |
| Checked By : JB  |                   | Scale : NTS     |      |
| Drawing No. : AR005092-01  |                   | Rev. No. : 0    |      |
|  |                   | Sht. No. : 1    |      |



SECTION 1 for PLAN 1



SECTION 2 for PLAN 2

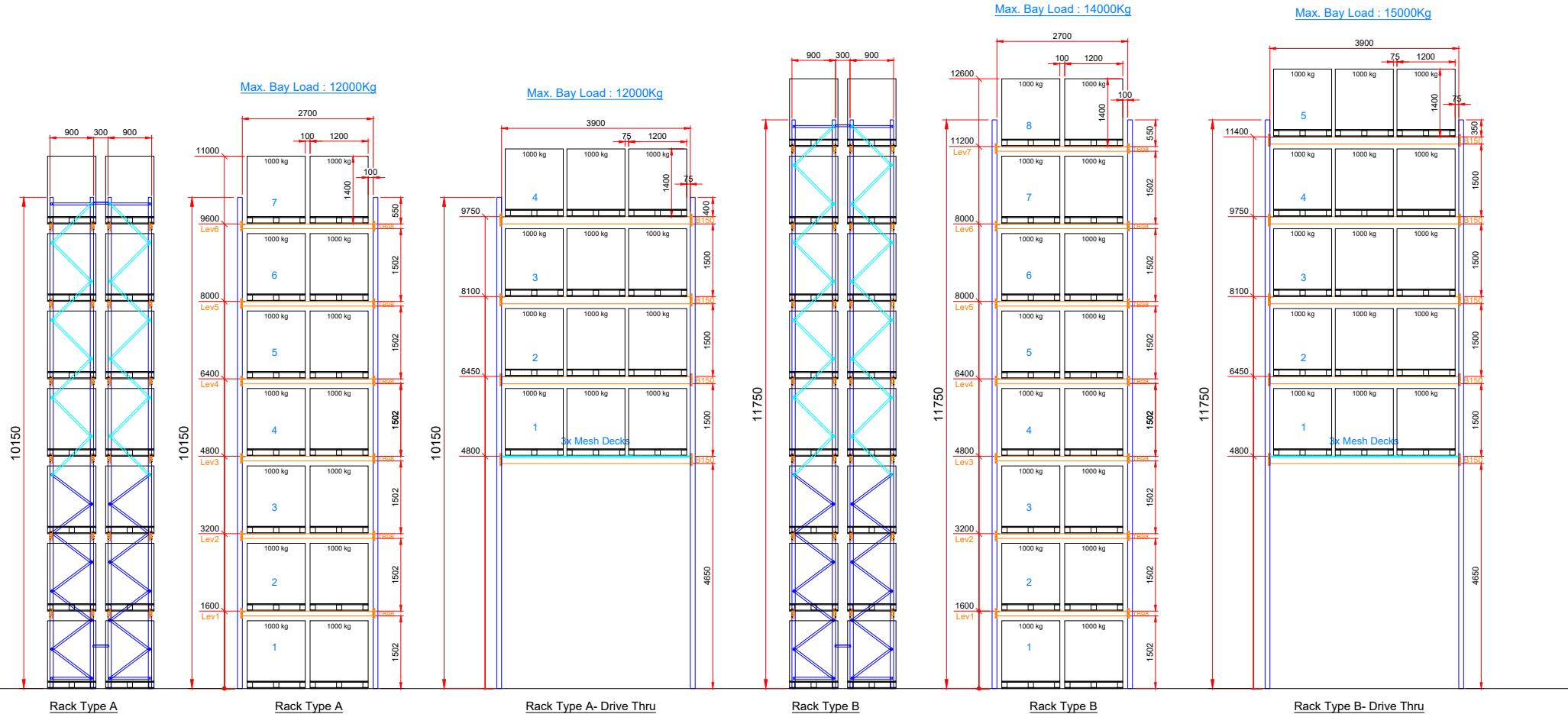
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| Checked By : JB   | 16/09/2025   | Scale :      | NTS  |
| Drawing No. : AR005092-01   | Rev. No. : 0 | Sh. No. : 1  |      |



## ELEVATION

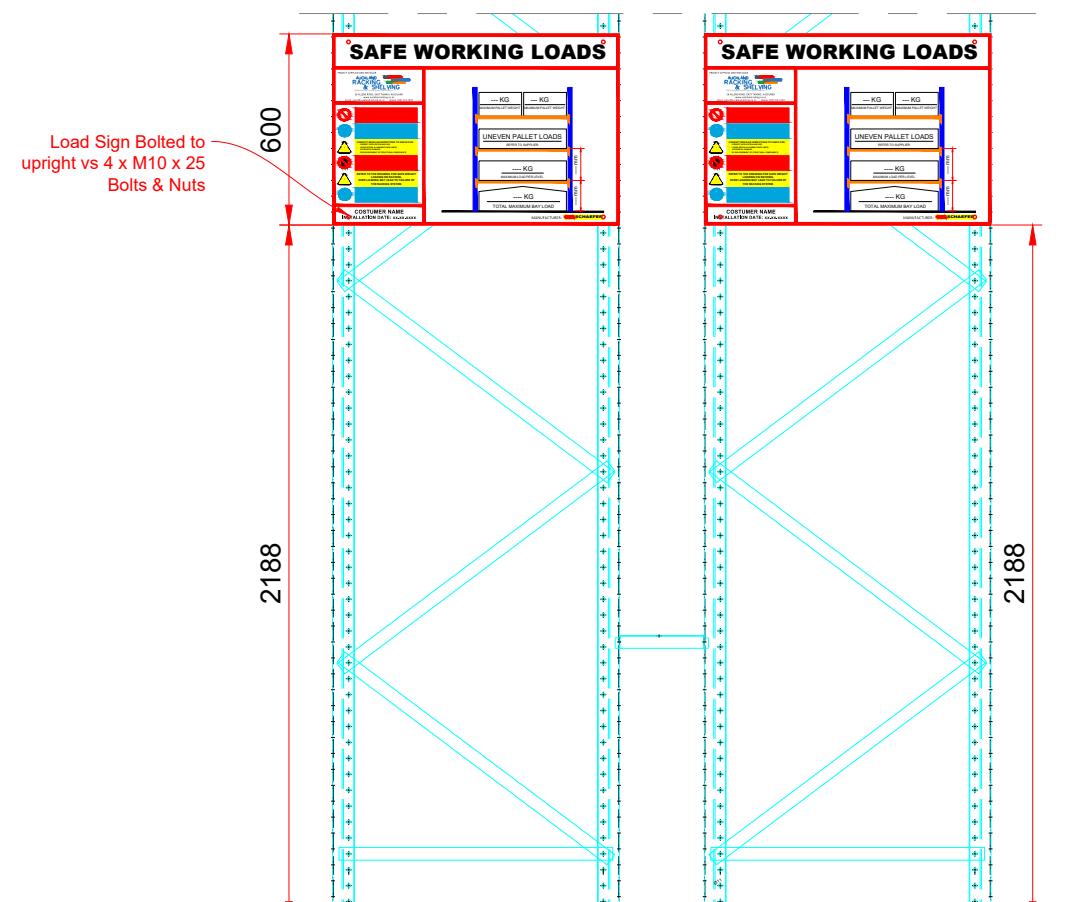
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| Checked By :  | JB          | 16/09/2025 | Scale : NTS |
| Drawing No.:  | AR005092-01 | Rev. No.:  | 0           |
|   |             | Sh. No.:   | 1           |



## Signage Install

Load Sign, Alphabet Sign

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| Rev   | Description   | By           | Date |
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| Checked By :  | 16/09/2025    | Scale :      | NTS  |
| Drawing No.:  | ARSS IN HOUSE | Rev. No.:    | 0    |
|   |               | Sh. No.:     | 1    |

# Sustainability in action

We are committed to:

Sustainable design principles from large-scale developments to single-building units

Encouraging clients to consider additional design features to promote sustainability such as solar electricity, electric vehicle charging stations, and rainwater utilisation

Utilisation of local suppliers and service providers to reduce environmental impact

Implementation of comprehensive environmental management plans on development sites

Continual education and training of employees and trades on waste minimisation

Encouragement and support for industry development of sustainable construction methods

Recycling of construction materials where possible, including in-house concrete recycling

Maintaining a modern and efficient fleet of vehicles, plant and machinery

# Euroclass Business Parks



Stonehill Business Park 2010 / 2024



Basalt Business Park 2016 / 2024



# Feature Projects



Plumline, Wellington



Esko Safety, New Plymouth



Puretec, Hamilton



Cloke and BrandSpec, Auckland



Jones Trading Group, Auckland



Trade Depot, Hamilton

Building quality  
since

1987



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